

SITE LOCATION PLAN
1 : 1250

Notes
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Scale Bars TO BE USED ONLY AS GUIDANCE

1:100	mm	1000	3000	5000
1:200	mm	5000	8000	
1:500	M	5	15	25
1:1250	M	10	30	50 70

NOTES

— Site Boundary

Site Area = 0.2 Hectares / 0.5 Acres

For the topographical information refer to drawing 46617MCLS-01 by Survey Solutions.

For information about the trees please refer to the Arboricultural Report & Survey produced by Urban Green.

P01	Planning drawing issue	BAP	25/08/23
Rev	Description	By	Date
Client	STOCKPORT HOMES		
Job	GRAFTON STREET, HEATON NORRIS		
Drawing	SITE LOCATION PLAN		
BS Ref	POZ Ref	Rev	P01
	5340-POZ-01-XX-DR-A-1100		
Date	01/06/23	Scale	As indicated @ A3
3D CoOrd	BAP	Approved	EMc STATUS -
Project Status	Planning	Tender	Construction
	Design	Contract	As Built

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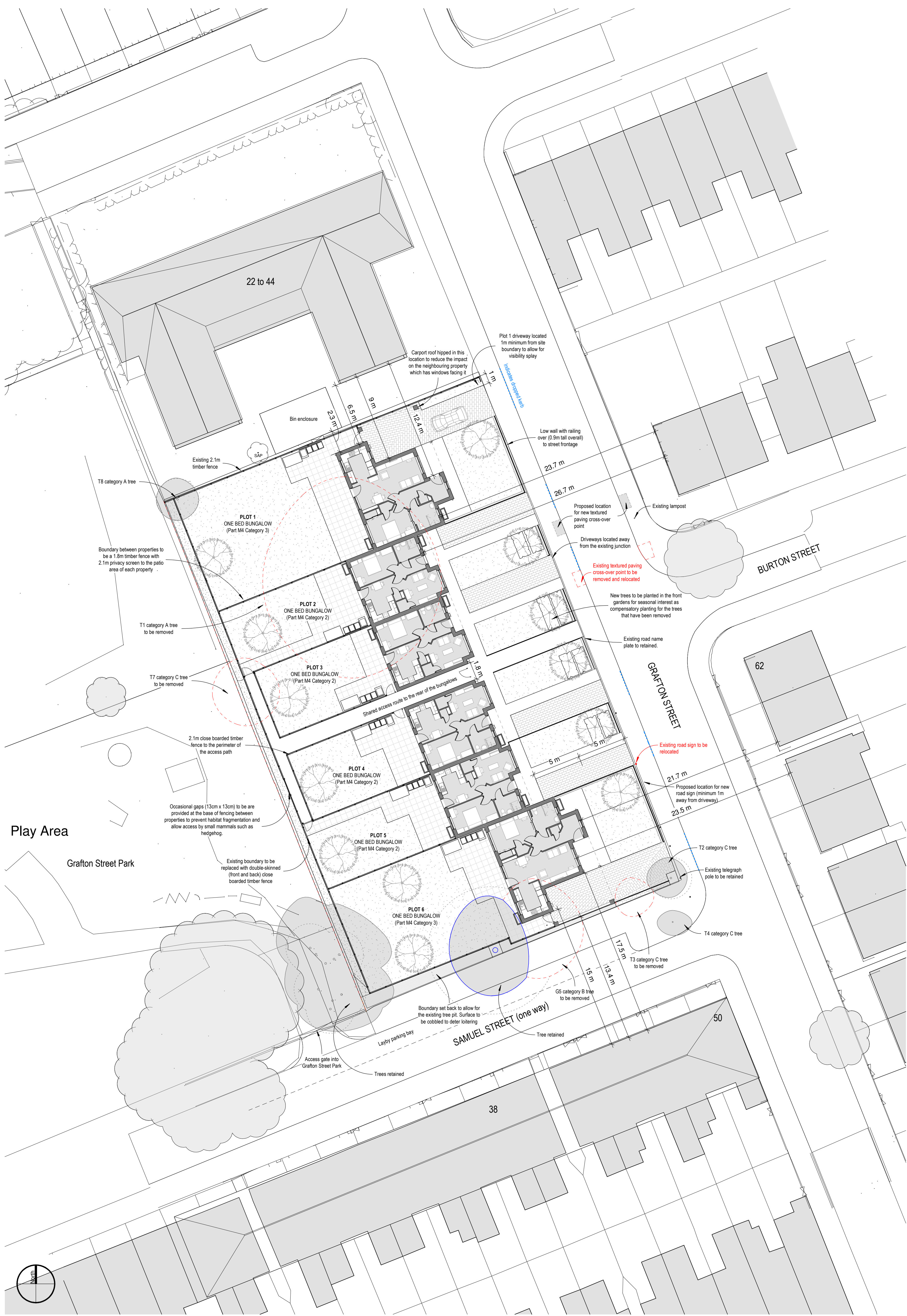
NOTES

Parking - two spaces per dwelling (200% provision)

Refuse - space to store bins provided in the private gardens

Surveys - For full list of reports refer to the Design and Access Statement

Planning - For information on proposed boundaries please refer to drawing 5340-POZ-01-XX-DR-A-1900



SITE LAYOUT PLAN
 1 : 200

ACCOMMODATION SUMMARY

NUMBER	NAME	TYPE	AREA (GIFA)
PLOT 1	ONE BED BUNGALOW	PART M4 CAT 3	67.07 m ²
PLOT 2	ONE BED BUNGALOW	PART M4 CAT 2	50.37 m ²
PLOT 3	ONE BED BUNGALOW	PART M4 CAT 2	50.37 m ²
PLOT 4	ONE BED BUNGALOW	PART M4 CAT 2	50.37 m ²
PLOT 5	ONE BED BUNGALOW	PART M4 CAT 2	50.37 m ²
PLOT 6	ONE BED BUNGALOW	PART M4 CAT 3	67.07 m ²

P07	Fence along boundary with park pulled back to allow for hedge planting.	BP	02/10/24
P06	Layout updated to reflect latest landscape scheme	TRS	23/05/24
P05	Additional fruit tree planting in rear gardens	BAP	15/05/24
P04	Rainwater planters provided to front and rear of each property. Additional 2no. trees provided within rear gardens.	BAP	08/05/24
P03	Update site layout to match revised landscape (2 additional trees)	BAP	14/02/24
P02	Plot 1 driveway adjust to allow for visibility splay. Proposed relocation for tactile paving / street furniture (posts / signage etc.)	BAP	07/02/24
P01	Planning drawing issue	BAP	25/08/23

STOCKPORT HOMES

Client: GRAFTON STREET, HEATON NORRIS

Project: PROPOSED SITE LAYOUT

Ref: 5340_1200 Rev: P07

File: 5340-POZ-01-XX-DR-A-1200

Date: 01/06/23 Scale: 1 : 200

BAP	EMc	-
Planning	Tender	Construction
Design	Contract	As Built

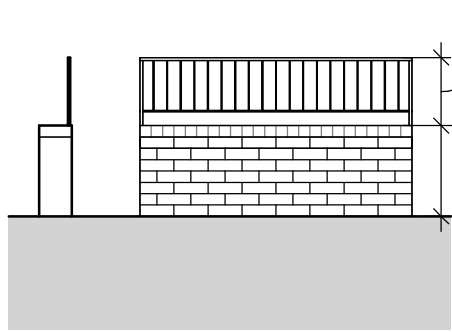
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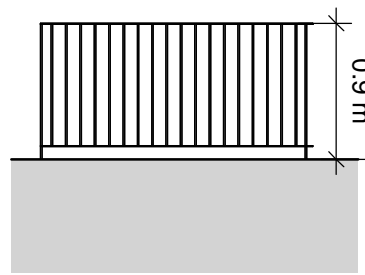


PROPOSED SITE LAYOUT
1 : 200

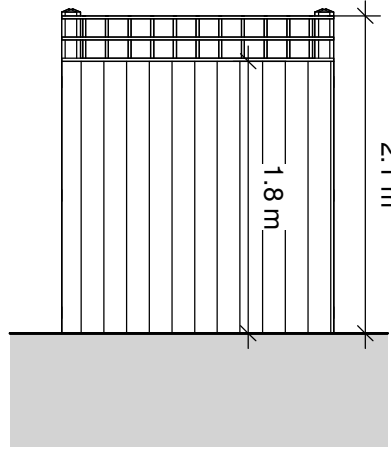
PROPOSED BOUNDARIES



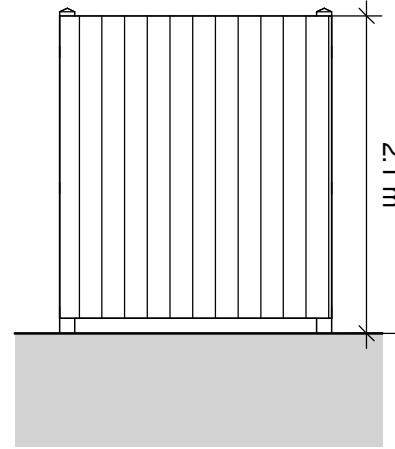
TYPE A1
1 : 50



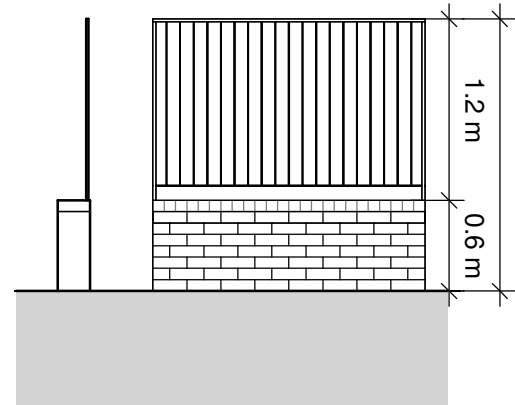
TYPE B
1 : 50



TYPE C
1 : 50



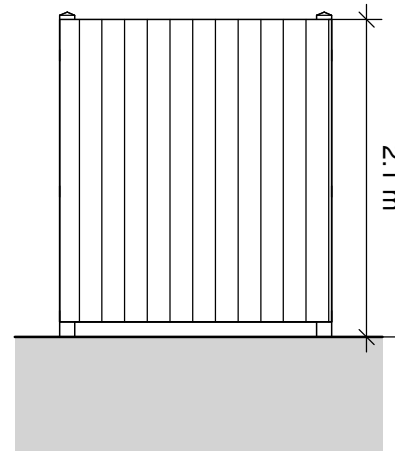
TYPE D1
1 : 50



TYPE A2
1 : 50

Type B: Black metal railings

Type C: Close boarded timber fence with trellis. Timber to be pressure treated. Occasional gaps (13cm x 13cm) to be provided at the base of fencing between properties to prevent habitat fragmentation and allow access by small mammals such as hedgehog.



TYPE D2
1 : 50

Type D1: Close boarded timber fence. Timber to be pressure treated. Occasional gaps (13cm x 13cm) to be provided at the base of fencing between properties to prevent habitat fragmentation and allow access by small mammals such as hedgehog.

Type D2: Double-skinned (front and back refer to Crime Impact Statement: section 4.5 Boundaries for further information) close boarded timber fence. Timber to be pressure treated. Occasional gaps (13cm x 13cm) to be provided at the base of fencing between properties to prevent habitat fragmentation and allow access by small mammals such as hedgehog.

Type A1/A2: Low red brick wall with black railings over sitting on the outside face. Bricks to match main facing material. Coping to be brick on edge in red engineering brick.

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Rev	Description	By	Date
P02	Fence along boundary with park pulled back to allow for hedge planting.	BP	02/10/24
P01	Planning drawing issue	BAP	25/08/23
Client	STOCKPORT HOMES		
Job	GRAFTON STREET, HEATON NORRIS		
Drawing	PROPOSED SITE BOUNDARIES		
Rev	5340_1900	Rev	P02
Date	01/06/23	Scale	As indicated @ A2
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PLOT LANDSCAPE PLANTING PLAN

SHRUB/ HERBACEOUS PLANTING	Abb	Species	Size	Height (cm)	Density	Number
Eh	Euonymus harlequin	3L	20 - 30	4 sq.m	39	
HMW	Hebe 'Mrs Winder'	3L	20 - 30	4 sq.m	16	
LaV	Lavandula angustifolia 'Vera'	3L	20 - 30	4 sq.m	40	
SKG	Skimma 'Kew Green'	3L	30 - 40	3 sq.m	36	

MIXED NATIVE HEDGEROW - Planted at 6 per lin.m in a double staggered row	Abb	Species	Size	Height (cm)	% in Mix	Number
Ac	Acer campestre	BR	100 - 120	5%	17	
Ca	Corylus avellana	BR	100 - 120	5%	17	
Cra	Crataegus monogyna	BR	100 - 120	55%	195	
la	Ilex aquifolium	2L C	100 - 120	5%	17	
Lo p	Lonicera periclymenum	BR	100 - 120	5%	17	
Rc	Rosa canina	BR	100 - 120	5%	17	
Vo	Viburnum opulus	BR	100 - 120	20%	68	

TREE PLANTING	Abb	Species	Size	Type	Root	Number
Bp	Betula pendula	12 - 14	HS	BR	5	
Ms	Malus sylvestris	12 - 14	HS	BR	2	
Pa	Prunus avium	12 - 14	HS	BR	4	
Sa	Sorbus aucuparia	12 - 14	HS	BR	2	

HEDGES	Abb	Species	Size	Height (cm)	Density	Number
Eeb	Elaeagnus x ebbingei	5L	60 - 80	4 sq.m	166	

PLANTING NOTES:

- Plant handling at the nursery, and during transit up to delivery, shall be in accordance with 'Plant Handling', the booklet published by the Committee for Plant Supply and Establishment (CPSB). The contractor shall comply with clauses 3 & 4 of the above booklet (obtained from the Horticulture Trades Association, 19 High Street, Theale, Reading, Berks RG7 5H) which refers to the receipt, unloading and temporary storage of plants.
- Plants shall be first class examples of their species or variety, free from all pests and diseases, with good fibrous root systems and materially undamaged (refer to relevant sections of BS3936 Parts 1-4 'Specification of Nursery Stock').
- All planting is to be in general compliance with BS4428: 1989 'Code of Practice for general landscape operations (excluding hard surfaces)'.
The topsoil should not be contaminated with subsoil, rubbish, rubble or any other materials that may be detrimental to plant growth. When storing the topsoil, compaction and contamination should be prevented by covering and not allowing construction plants to pass over it. It should also be handled in the driest conditions possible and not after a heavy rainfall. When spreading the topsoil do not firm, consolidate or compact it. Tip and grade to approximate levels in one operation with minimum of trafficking by plant. Once spread all soft landscaped areas need to be cultivated to a depth of 150-200mm to break up any clods of earth and to remove any weeds prior to planting, seeding or laying turf.
- Topsoil should be spread to min depth of 450mm for all shrub beds and 150mm depth to areas of grass. Topsoil should be of a good quality free from rubble and contaminants and should be certified to current BS3882 as a standard. If further buildups are required under soft landscaped areas then subsoil to BS8601:2013 should be used underneath the topsoil as described above.
5. Tree Planting: One number 80 litre bag of compost (non-peat based) should be roughly incorporated between two tree pits and a slow release tree fertiliser (in line with manufacturers recommendations) should also be incorporated into the mix. The compost and fertiliser must be thoroughly mixed with the excavated material prior to back filling the tree pit, any large stones and rubble should be removed if excavated during these works and the base of the pit should be broken out to ensure that it is free draining. As a guide, trees should be planted in tree pits of the following minimum sizes:
i) 12-14cm Girth 750 x 750 x 650mm deep
6. Tree Staking: Each tree should be individually secured inline with the following recommendations:
i) 12-14cm Heavy Standards - Single stake using 10cm diameter short stake at 600mm above ground level, use 1no. rubber tree tie to secure the tree in position.
7. The native hedge should be notch planted and healed into position. The base of the hedge should be mulched to help control weeds during the first few years of establishment.
8. The contractor MUST ascertain for himself/herself the exact location of underground services and maintenance points prior to any excavations on site.
9. All areas of planting are to be mulched to a depth of 50mm with a medium grade tree bark mulch.
10. Grass: To be laid as turf within the back garden areas to provide instant impact. Ensure that the surface of the soil is well cultivated to a fine tilth and the areas are evenly graded to falls and free from any ruts or mounded areas. Prior to laying the turf, apply a granular pre-lawn seed & turf fertiliser to the area of prepared ground inline with the manufacturers recommendations.
11. Water all plants, trees and grass on the same day of installation. Ensure that the site is left in a clean and tidy state with any soil, mulch or detritus material swept off the paths and patio areas. Wash down surfaces as required.

LEGEND

- SOFTWORKS**
- Existing Trees to be retained, please refer to the Arboricultural Impacts Assessment for further information on all proposed tree works and tree protection measures.
 - Existing Trees to be removed outside of bird nesting season, please refer to the Arboricultural Impacts Assessment for further information on all proposed tree works and tree protection measures.
 - Proposed Native Trees to be planted as BR 12-14cm girth Heavy Standard 3-3.5m.
 - Proposed Mixed Native Hedgerow to be planted as BR Whips at 6 per lin.m.
 - Proposed Elaeagnus x ebbingei Hedgerow to be planted as 5L pots at 4 per lin.m.
 - Proposed Ornamental Shrub Beds to be planted as 3L pots at 3-5 per sq.m
 - Proposed Grass to be laid as turf in the front and back gardens

ECOLOGICAL ENHANCEMENTS

- 4no. Bat access panels
Bat access panels to be positioned minimum 4m off the ground and to areas of landscape planting. Product code #183033 from the NHBS shop fitted with back plates (www.nhbs.com)
 - 3no. Bird Box
Bird boxes to be positioned minimum 5m off the ground avoiding direct sunlight and a clear flight path. Product code #174756 from the NHBS shop (www.nhbs.com)
 - 9No. Hedgehog gaps 130 x 130mm
To be created at the base of the fences to allow the passage of hedgehogs through the gardens. Install 9no. Hedgehog Highway signs from the BHPS shop (13cm x 8cm) (www.britisshedgehogs.org.uk)
- For further information please refer to the Preliminary Ecological Appraisal by Max Grindle.

Play Area

Rev. D Hedge added and updated to the latest layout KR 03/10/2024
 Rev. C Trees added to back gardens and hedge types changed, bird box and hedgehog signs specification updated AC 23/05/2024
 Rev. B 2 additional trees added EP 02/02/2024
 Rev. A Changed location of bat and bird boxes. AC 14/09/23

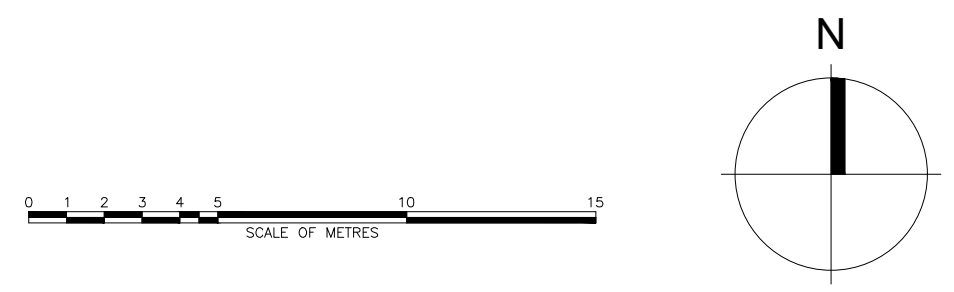


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Client: Stockport Homes
 Project: Grafton Street, Heaton Norris

Description: Planting Plan
 Status: Planning
 Scale: 1:200@A1
 Job number: 5253
 Drawing number: 01
 Date: SEP 23
 Revision: D
 Drawn: AC, checked by EP

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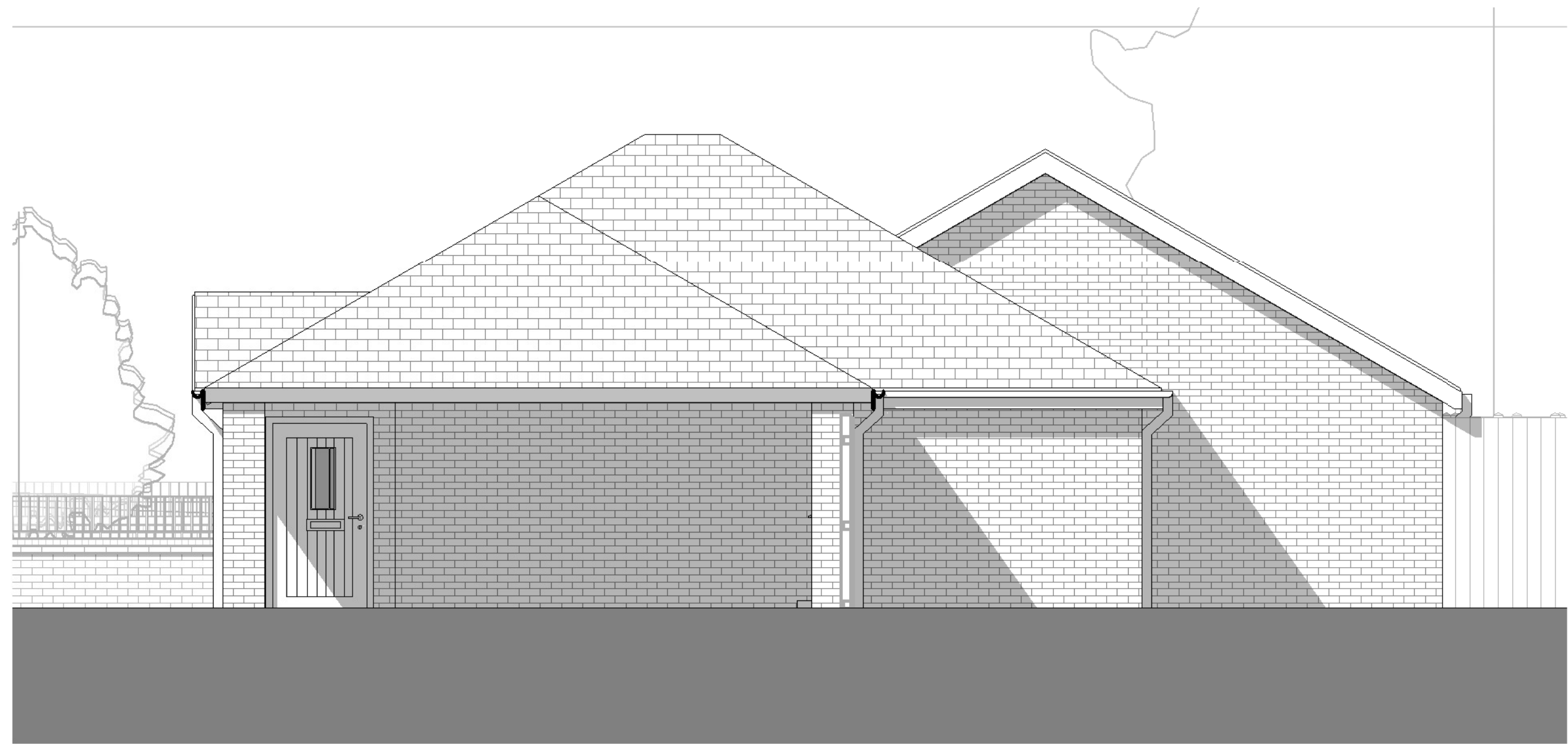
FRONT ELEVATION (PLOTS 1 TO 3) FACING GRAFTON STREET
 1 : 50



REAR ELEVATION (PLOTS 1 TO 3) FACING GRAFTON STREET PARK
 1 : 50

MATERIALS KEY

LOCATION	DESCRIPTION
Main facing material	Red Brick
Pitched roof	Single camber plain tile (red/brown)
Rainwater goods	UPVC, Black
Fascias	UPVC, Grey
Soffit	UPVC, timber effect
Windows	UPVC, Window Grey RAL 7040 (white on the inside)
Doors	UPVC, Window Grey RAL 7040 (white on the inside)



SIDE ELEVATION (PLOT 1)
 1 : 50



SIDE ELEVATION (PLOT 3)
 1 : 50

P01	Planning drawings issue	BAP	25/08/23
Rev	Description	By	Date
Client	STOCKPORT HOMES		
Job	GRAFTON STREET. HEATON NORRIS		
Drawing	GA ELEVATIONS PLOTS 1 2 & 3		
Factor	5340 1351	Ref	P01
Date	19/07/23	Scale	As indicated @ A1
Approved	BAP	EMc	-
Planning	Tender	Construction	
Design	Contract	As Built	

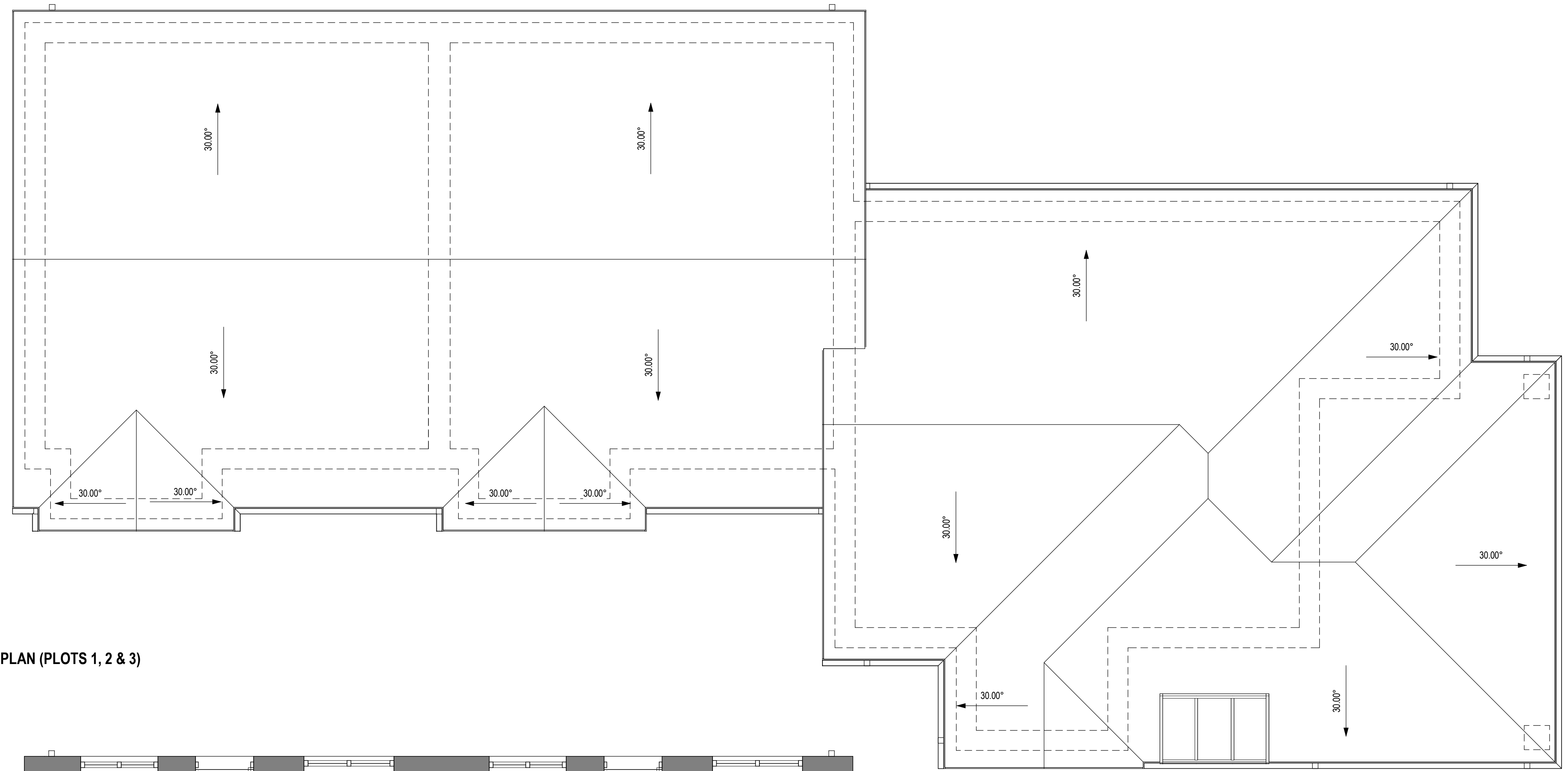


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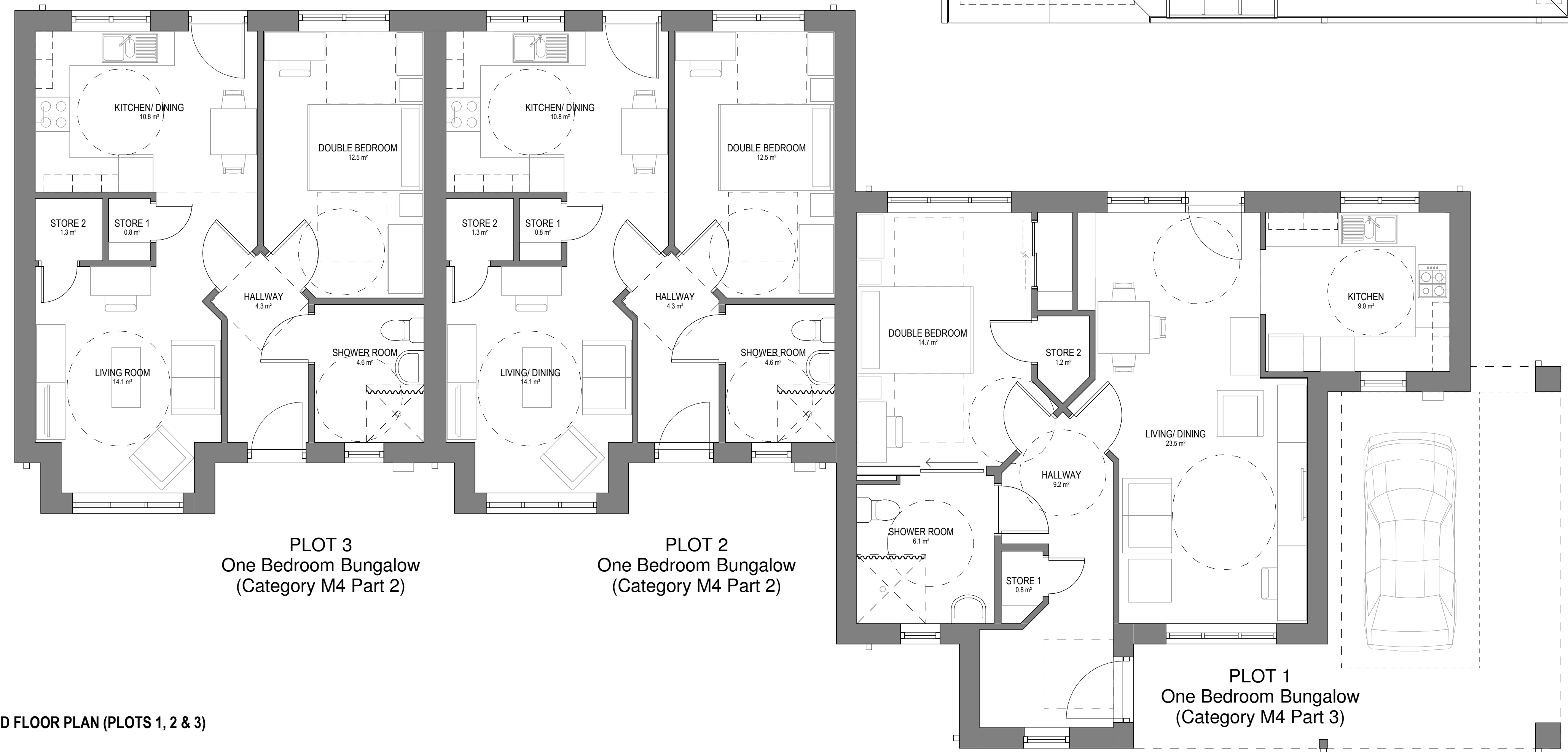
AREA SCHEDULE (GIFA)			
PLOT	TYPE	ACCESSIBILITY	AREA
PLOT 1	ONE BED BUNGALOW	PART M4 CAT 3	67.07 m ²
PLOT 2	ONE BED BUNGALOW	PART M4 CAT 2	50.37 m ²
PLOT 3	ONE BED BUNGALOW	PART M4 CAT 2	50.37 m ²

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1:20	mm	200	400
1:50	mm	500	1000



PROPOSED ROOF PLAN (PLOTS 1, 2 & 3)
1 : 50



PROPOSED GROUND FLOOR PLAN (PLOTS 1, 2 & 3)
1 : 50

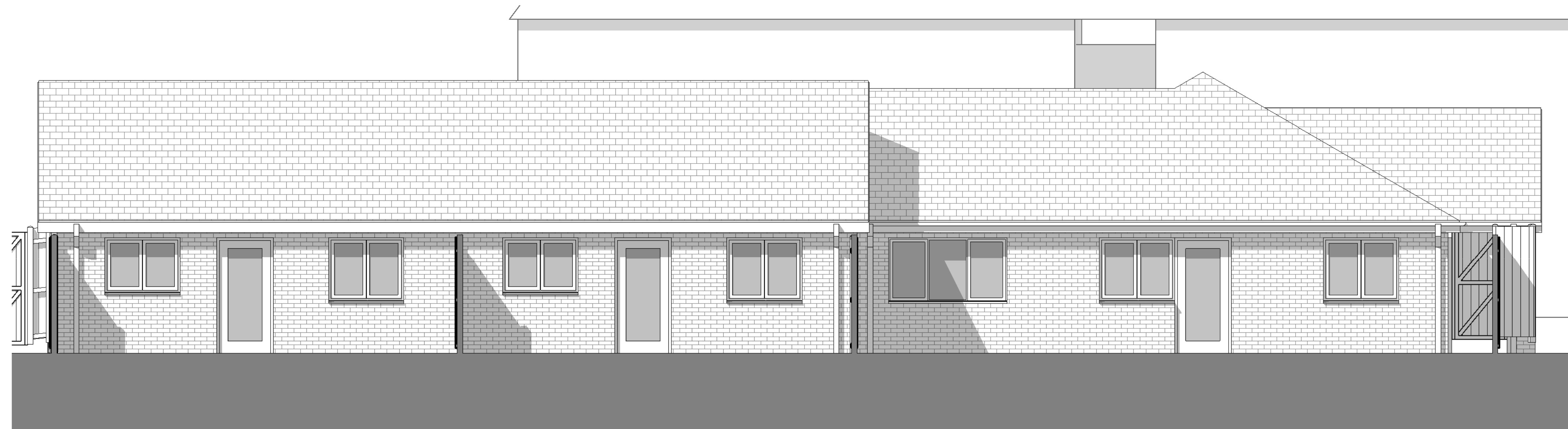
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Client	STOCKPORT HOMES			
Job	GRAFTON STREET. HEATON NORRIS			
Drawing	1 BED BUNGALOW PLANS PLOTS 1, 2 & 3			
Factor	POZ-24	Ref	P01	
Date	01/08/23	Scale	1 : 50	@ A1
Approved	BAP	EMc	S2	
Phase	Planning	Tender	Construction	
	Design	Contract	As Built	



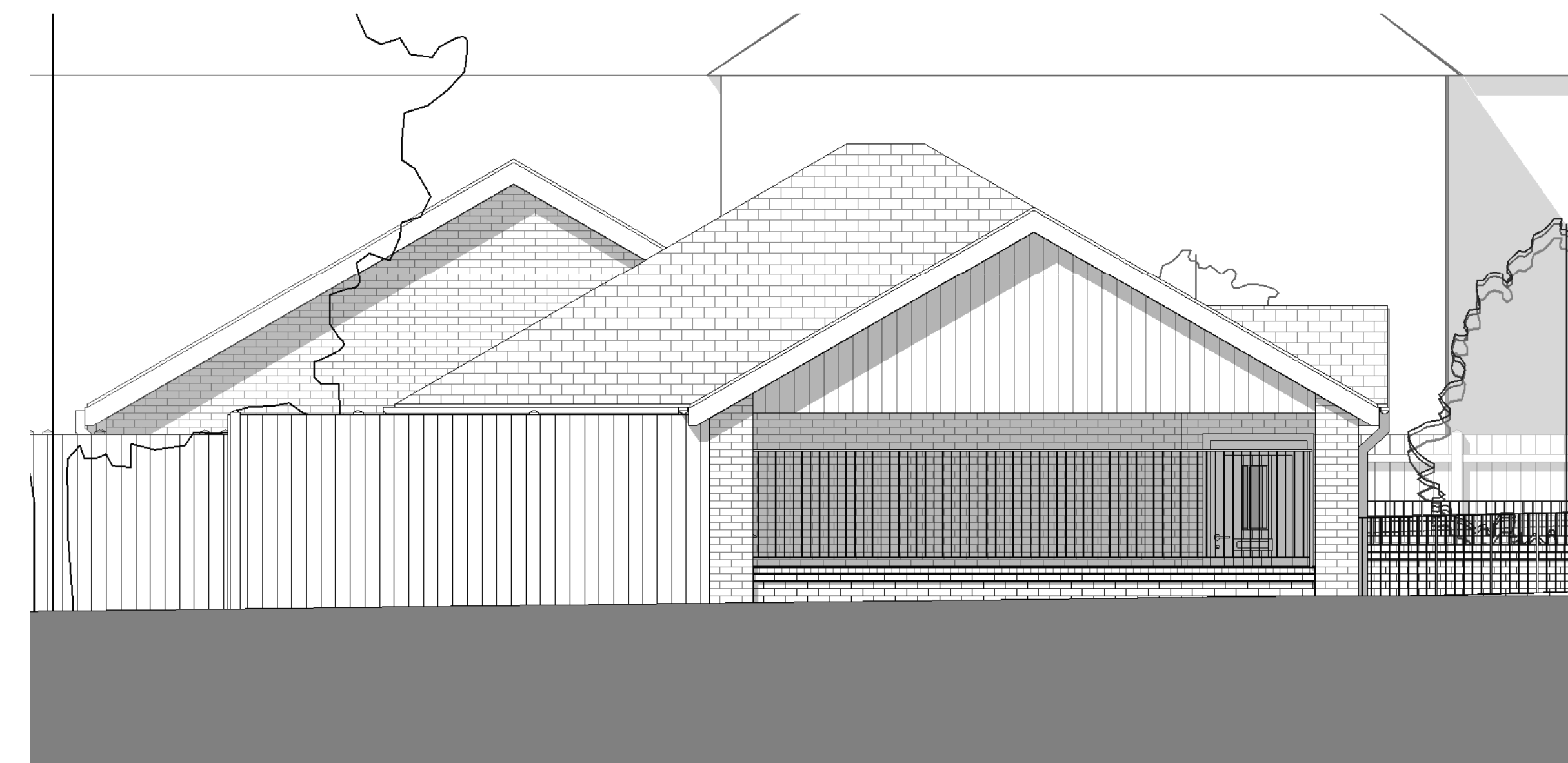
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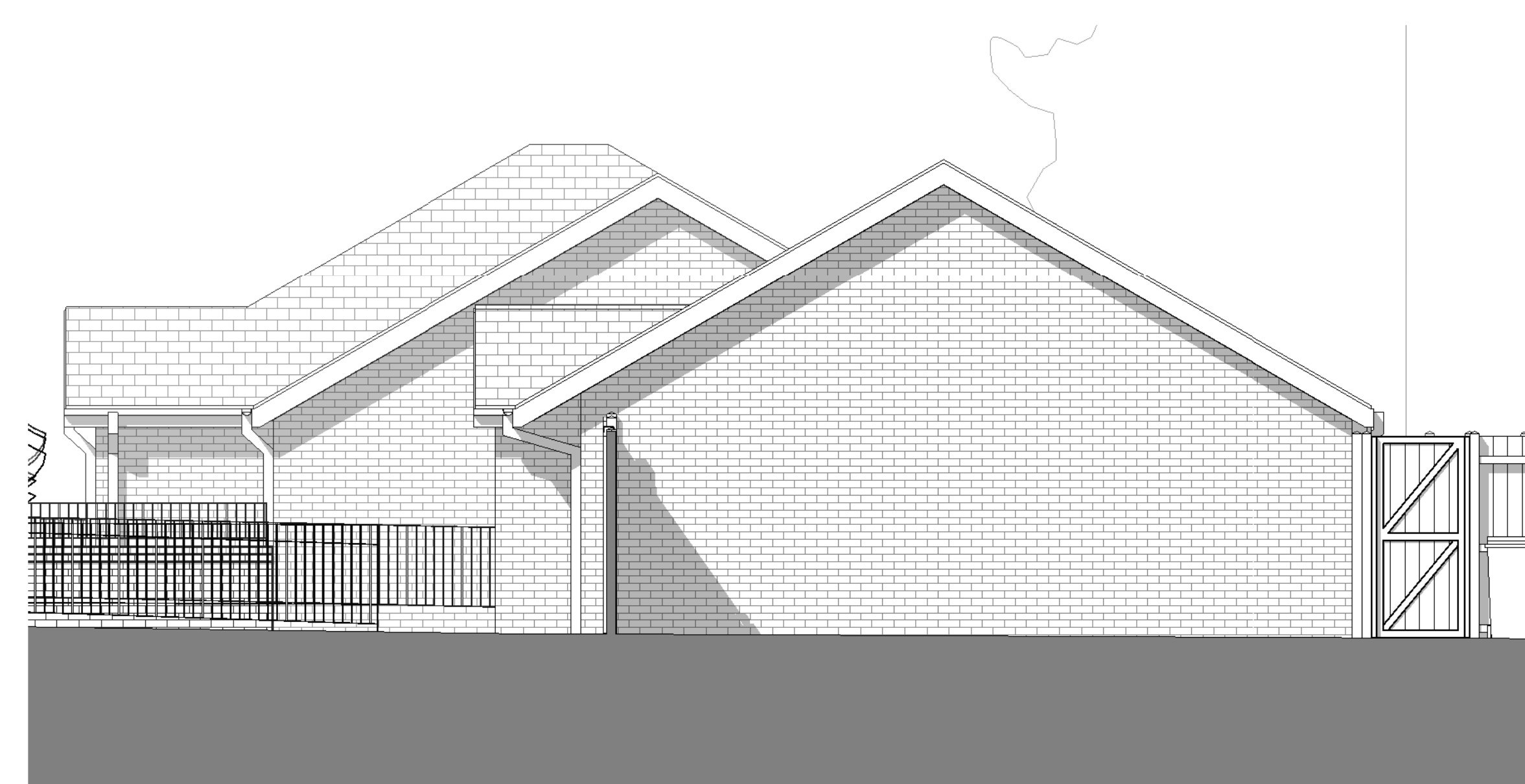
FRONT ELEVATION (PLOTS 4 TO 6) FACING GRAFTON STREET
1:50



REAR ELEVATION (PLOTS 4 TO 6) FACING GRAFTON STREET PARK
1:50



SIDE ELEVATION (PLOT 6)
1:50



SIDE ELEVATION (PLOT 4)
1:50

MATERIALS KEY	
LOCATION	DESCRIPTION
Main facing material	Red Brick
Pitched roof	Single camber plain tile (red/brown)
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Soffit	UPVC, timber effect
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Rev	Description	By	Date
Client	STOCKPORT HOMES		
Job	GRAFTON STREET, HEATON NORRIS		
Drawing	GA ELEVATIONS PLOTS 4, 5 & 6		
Factor	5340 1352	Ref	P01
Date	5340-POZ-XX-XX-DR-A-1352	Scale	@ A1
Date	19/07/23	As indicated	
Approved	BAP	EMc	-
Planning	Tender	Construction	
Design	Contract	As Built	

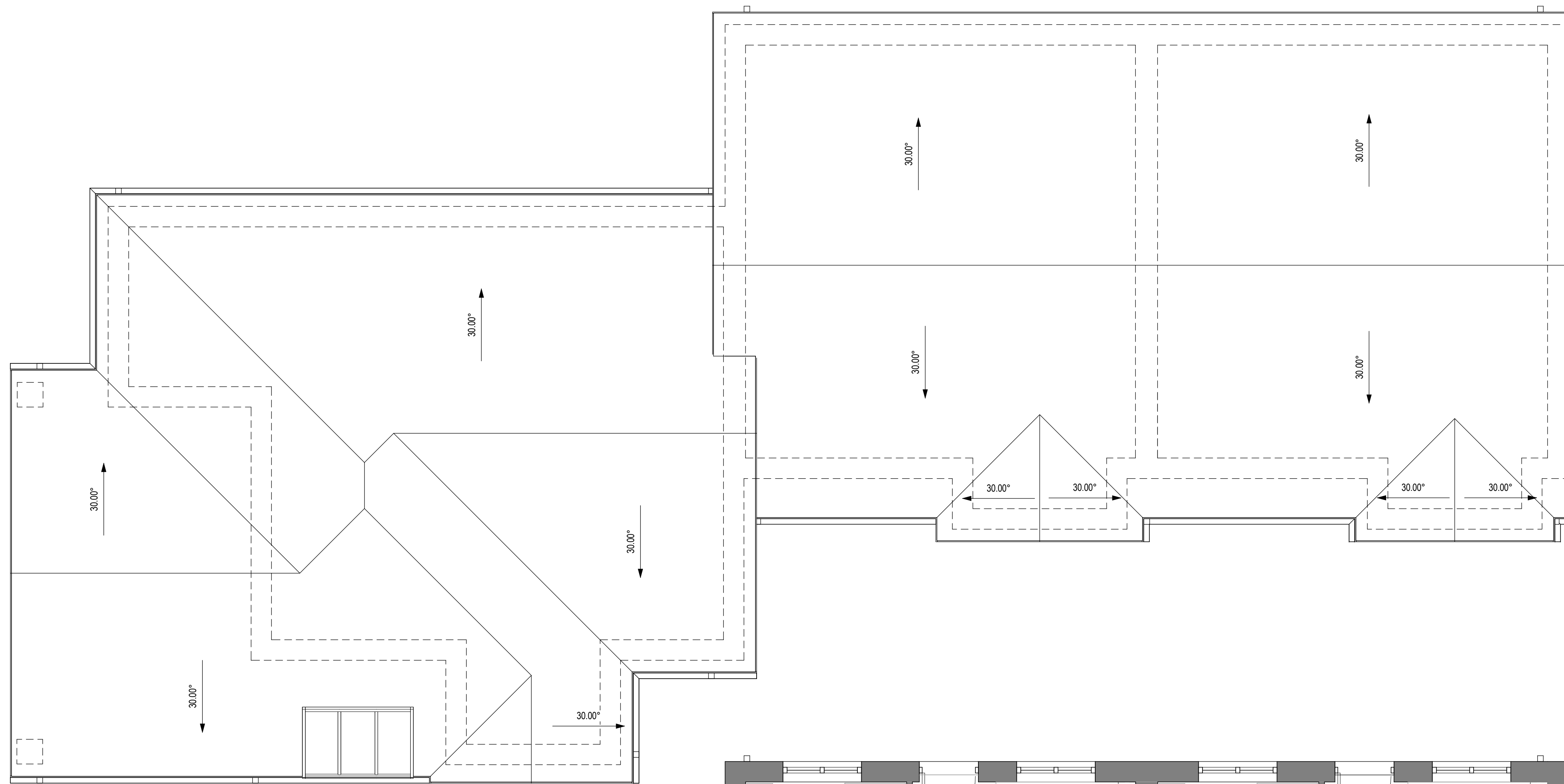
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AREA SCHEDULE (GIFA)			
PLOT	TYPE	ACCESSIBILITY	AREA
PLOT 4	ONE BED BUNGALOW	PART M4 CAT 2	50.37 m ²
PLOT 5	ONE BED BUNGALOW	PART M4 CAT 2	50.37 m ²
PLOT 6	ONE BED BUNGALOW	PART M4 CAT 3	67.07 m ²

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1:10	mm	0 100 200 300 400 500	
1:20	mm	0 200 400 600 800 1000	
1:50	mm	0 200 400 600 800 1000	



PROPOSED ROOF PLAN (PLOTS 4, 5, & 6)
1:50



PROPOSED GROUND FLOOR PLANS (PLOTS 4, 5 & 6)
1:50

Rev	Description	By	Date
P01	Planning drawings issue	BAP	23/08/23
Client: STOCKPORT HOMES			
Job: GRAFTON STREET, HEATON NORRIS			
Drawing: 1 BED BUNGALOW PLANS PLOTS 4, 5 & 6			
Factor	POZ-Ref	Ref	P01
5340-POZ-02-ZZ-DR-A-1221			
Date	Scale	@ A1	
01/08/23	1:50		
Approved	EMc	STATUS	
BAP		-	
Planning	Tender	Construction	
Design	Contract	As Built	

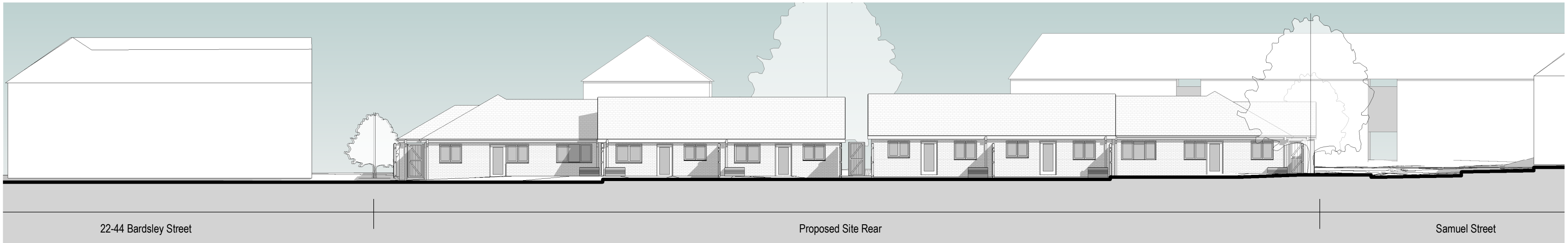
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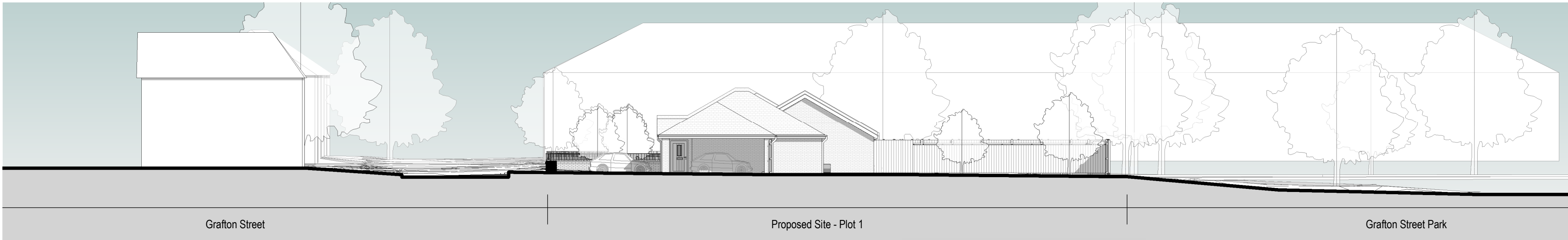
PROPOSED EAST ELEVATION

1 : 200



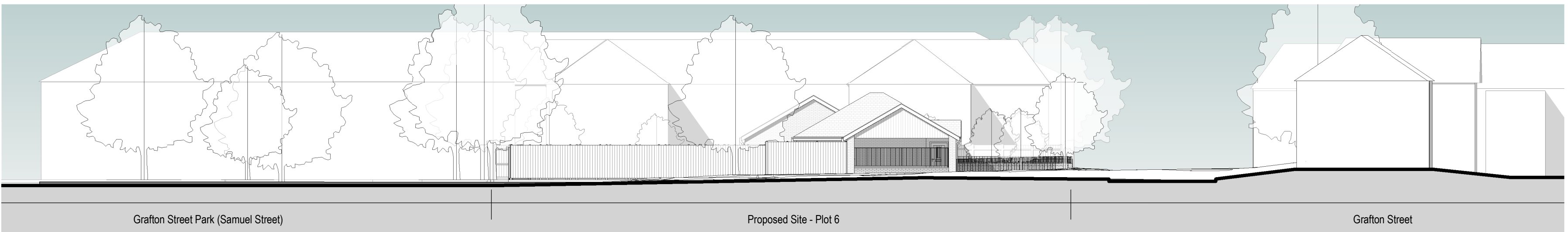
PROPOSED WEST ELEVATION

1 : 200



PROPOSED SOUTH ELEVATION

1 : 200



PROPOSED NORTH ELEVATION

1 : 200

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P02	Fence along boundary with park pulled back to allow for hedge planting.	BP	02/10/24
P01	Planning drawing issue	BAP	25/08/23
Rev	Description	By	Date

Client: STOCKPORT HOMES

Job: GRAFTON STREET, HEATON NORRIS

Drawing
PROPOSED STREET ELEVATIONS

5340_1350 Rev P02

5340-POZ-01-XX-DR-A-1350

Date: 01/06/23 Scale: 1 : 200 @ A2

Approved: BAP EMc STATUS: -

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VIEW FROM GRAFTON STREET ADJACENT 22-44 BARDSLEY STREET



VIEW FROM GRAFTON STREET ADJACENT SAMUEL STREET



VIEW FROM CORNER OF GRAFTON STREET / SAMUEL STREET

Notes

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Client	STOCKPORT HOMES		
Job	GRAFTON STREET, HEATON NORRIS		
Drawing	PROPOSED ARTIST IMPRESSIONS		
Ref	5340_1700	Rev	P01
Ref	5340-POZ-01-XX-DR-A-1700		
Date	01/06/23	Scale	@ A2
3D Co-Ord	BAP	Approved	EMc
Project Status	Planning	Tender	Construction
	Design	Contract	As Built

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