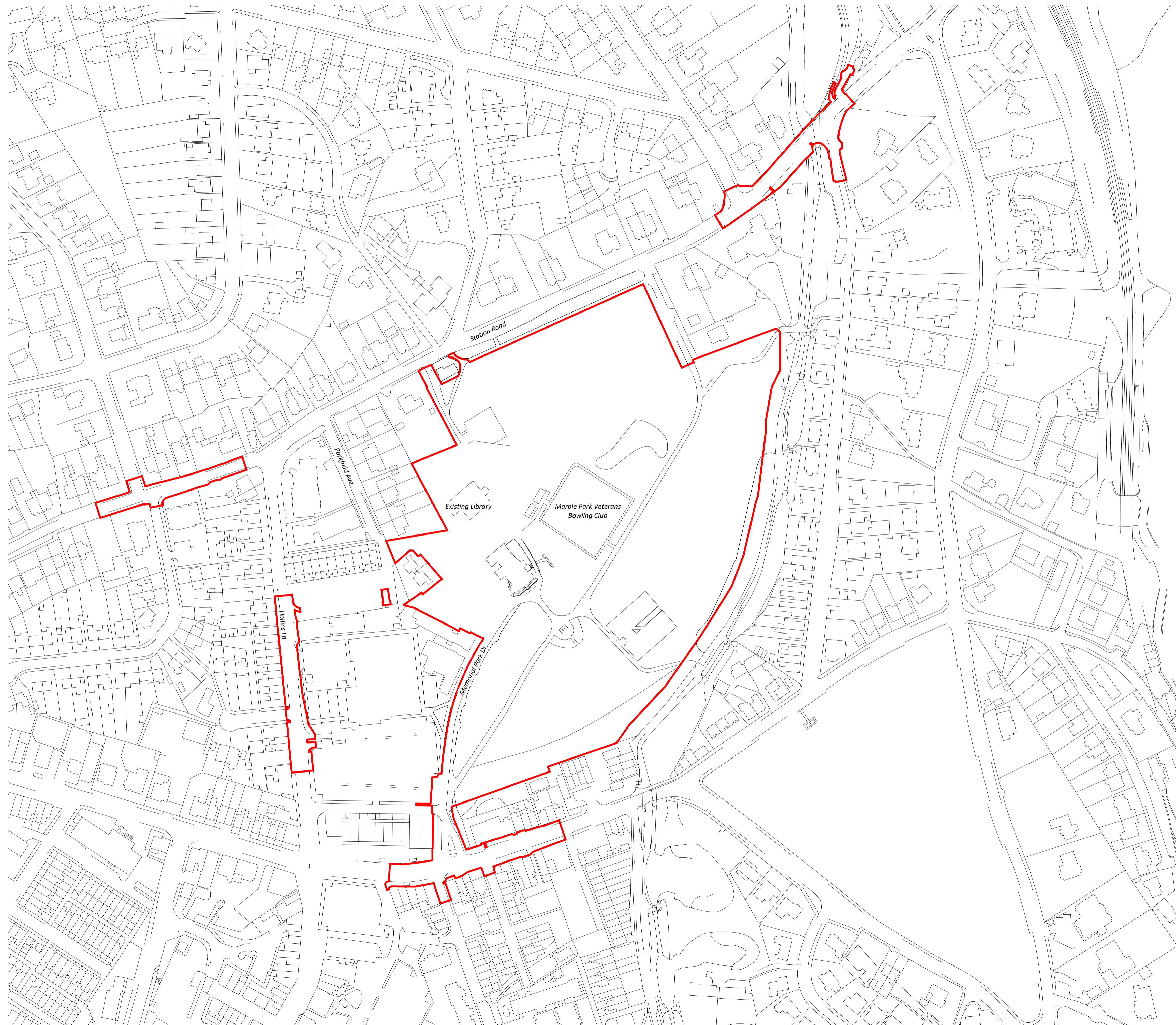


Legend

Planning Boundary



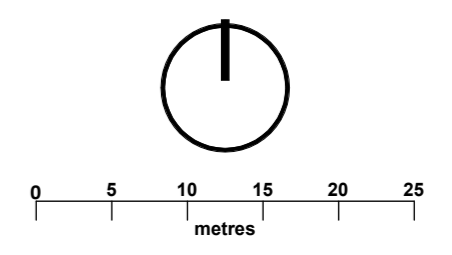
Final Stage 3 Issue	P06	BLU	BLU	26/04/24
Planning Boundary revised	P05	BLU	BLU	29/02/24
Project Boundary revised	P04	BLU	BLU	28/02/24
Stage 3 Issue	P03	JPO	BLU	27/02/24
Issued for Information	P02	JPO	BLU	23/02/24

Revision Note	Rev.	Author	Appvd	Date

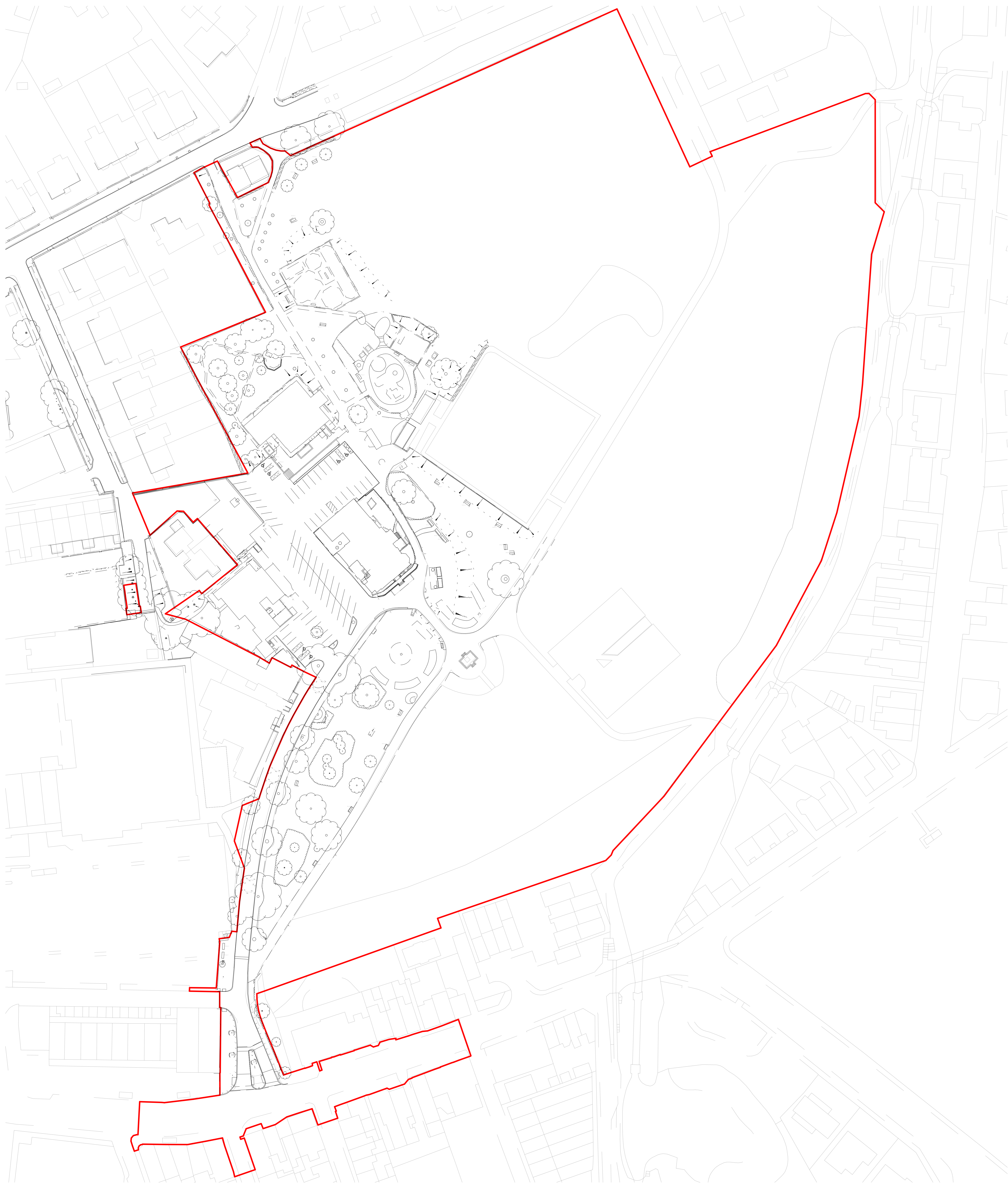
oobe
 Newcastle: Studio 7, 8, 9, 10, 11th, 12th, 13th, 14th, 15th, 16th, 17th, 18th, 19th, 20th, 21st, 22nd, 23rd, 24th, 25th, 26th, 27th, 28th, 29th, 30th, 31st, 32nd, 33rd, 34th, 35th, 36th, 37th, 38th, 39th, 40th, 41st, 42nd, 43rd, 44th, 45th, 46th, 47th, 48th, 49th, 50th, 51st, 52nd, 53rd, 54th, 55th, 56th, 57th, 58th, 59th, 60th, 61st, 62nd, 63rd, 64th, 65th, 66th, 67th, 68th, 69th, 70th, 71st, 72nd, 73rd, 74th, 75th, 76th, 77th, 78th, 79th, 80th, 81st, 82nd, 83rd, 84th, 85th, 86th, 87th, 88th, 89th, 90th, 91st, 92nd, 93rd, 94th, 95th, 96th, 97th, 98th, 99th, 100th
 London, 4th floor, 11th floor, 12th floor, 13th floor, 14th floor, 15th floor, 16th floor, 17th floor, 18th floor, 19th floor, 20th floor, 21st floor, 22nd floor, 23rd floor, 24th floor, 25th floor, 26th floor, 27th floor, 28th floor, 29th floor, 30th floor, 31st floor, 32nd floor, 33rd floor, 34th floor, 35th floor, 36th floor, 37th floor, 38th floor, 39th floor, 40th floor, 41st floor, 42nd floor, 43rd floor, 44th floor, 45th floor, 46th floor, 47th floor, 48th floor, 49th floor, 50th floor, 51st floor, 52nd floor, 53rd floor, 54th floor, 55th floor, 56th floor, 57th floor, 58th floor, 59th floor, 60th floor, 61st floor, 62nd floor, 63rd floor, 64th floor, 65th floor, 66th floor, 67th floor, 68th floor, 69th floor, 70th floor, 71st floor, 72nd floor, 73rd floor, 74th floor, 75th floor, 76th floor, 77th floor, 78th floor, 79th floor, 80th floor, 81st floor, 82nd floor, 83rd floor, 84th floor, 85th floor, 86th floor, 87th floor, 88th floor, 89th floor, 90th floor, 91st floor, 92nd floor, 93rd floor, 94th floor, 95th floor, 96th floor, 97th floor, 98th floor, 99th floor, 100th floor
 Glasgow: 177 W George St, Glasgow G2 2BQ, T: +44 (0)141 301 1465
 Edinburgh: 177 W George St, Edinburgh EH2 2BQ, T: +44 (0)131 241 0309
 London: 177 W George St, London E1 1AB, T: +44 (0)20 479 2649
 Newcastle: 177 W George St, Newcastle NE1 1AB, T: +44 (0)191 281 3775
 Website: www.oobe.co.uk, Email: info@oobe.co.uk

Client **Willmott Dixon**
 Project **Marple Leisure & Community Hub**

Title **Site Location Plan**



Legend
— Planning Boundary



Stage / Issue	PO1	BLU	BLU	04/03/24
Revision Note	Rev:	Author:	By:	Date:

oobe
www.oobe.co.uk
01753 600000
01753 600001
01753 600002
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01753 600004
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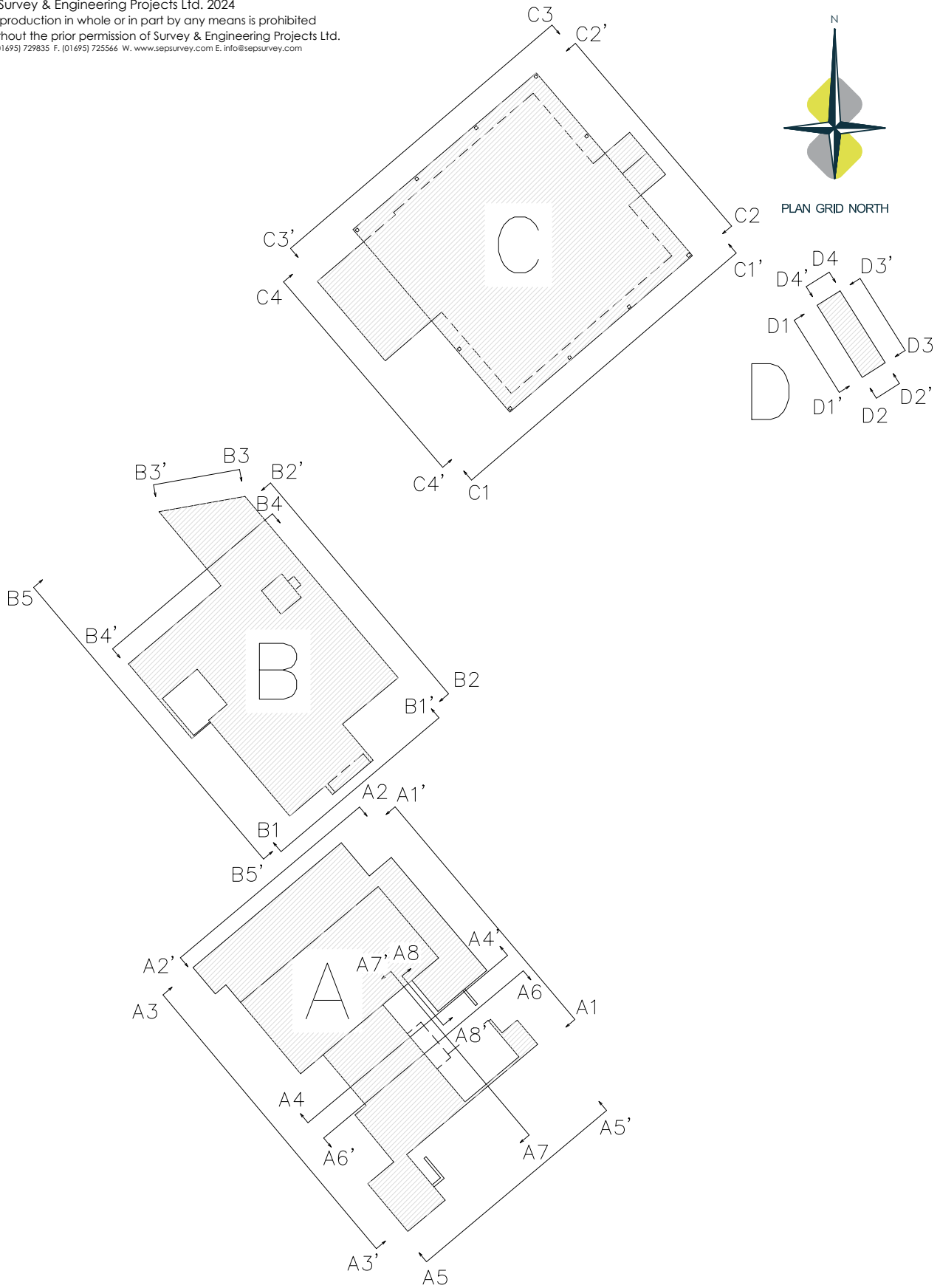
Client: Willmott Dixon
Project: Marple Leisure & Community Hub
Title: Existing Site Plan

Dwg. No: 5864-00B-ZZ-00-DR-L-0036 Rev: PO1
Scale: 1:100 @ A0 Date: Mar 2024
Stage 3

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PLAN GRID NORTH



SURVEY & ENGINEERING PROJECTS

File Name: S25049-EL.dwg

Project Title
 Building Elevations at:
 Marple Community Hub
 Memorial Park
 Marple
 Stockport
 SK6 6NY

Client
 Willmott Dixon Construction Ltd
 Hollinwood Business Centre
 Albert Mill
 Albert Street
 Oldham
 OL8 3QL

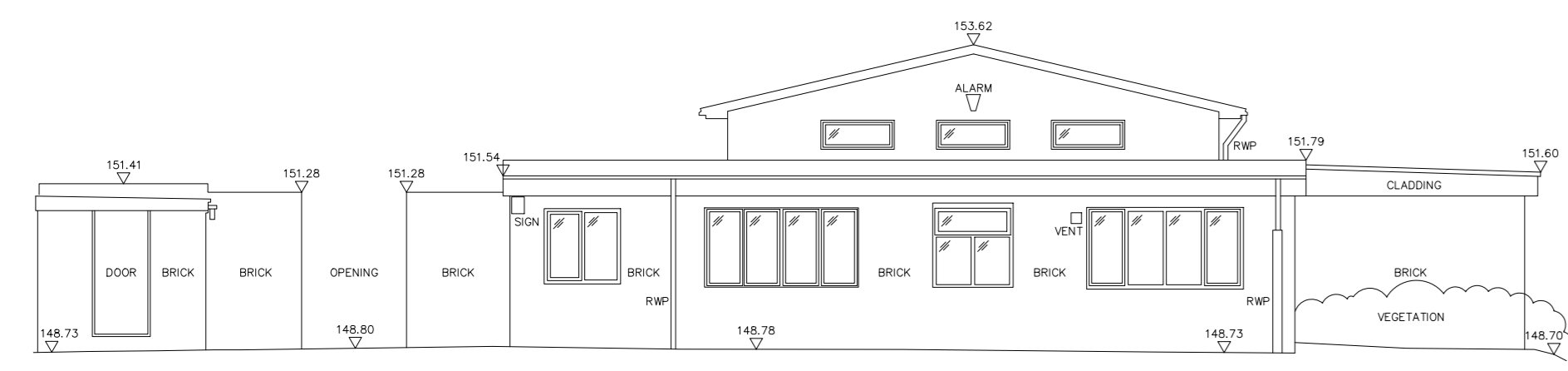
Surveyed H.Kildear	Drawn B.C/M.L-S	Checked C.Wills	Size A4
Scale 1:100	Date Feb 24	Drawing Ref. S25049-EL	No. 01 Rev --

FOR ELEVATION LOCATION PLAN.
 PLEASE SEE S25049-EL - SHEET 01

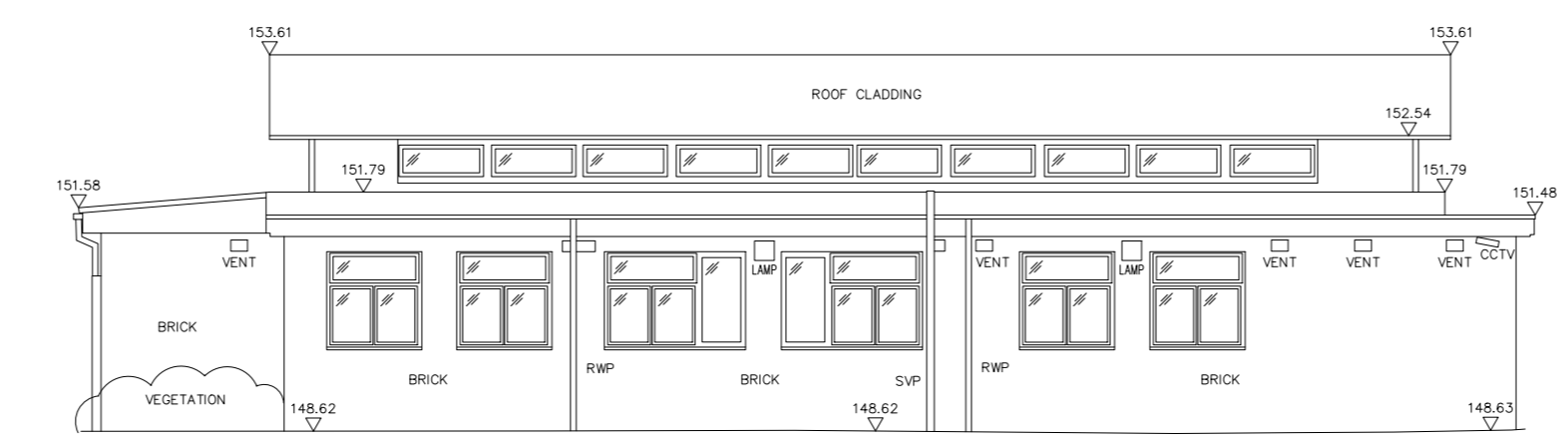
ELEVATION LOCATION PLAN

File Name: S25049-EL.dwg

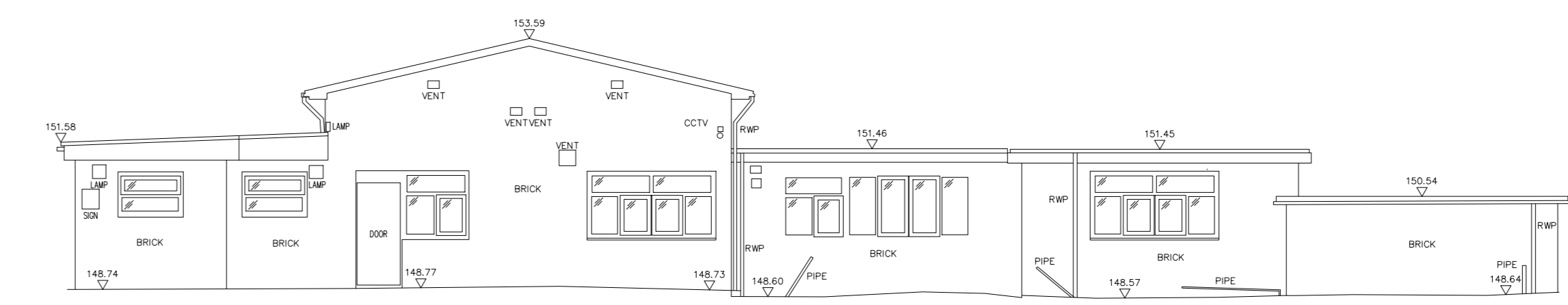
NOTES:
 All elevations to O.S. (Newlyn) Datum. Established using network RTK.
 Survey plotted on a plane local grid, untransformed to National Grid.



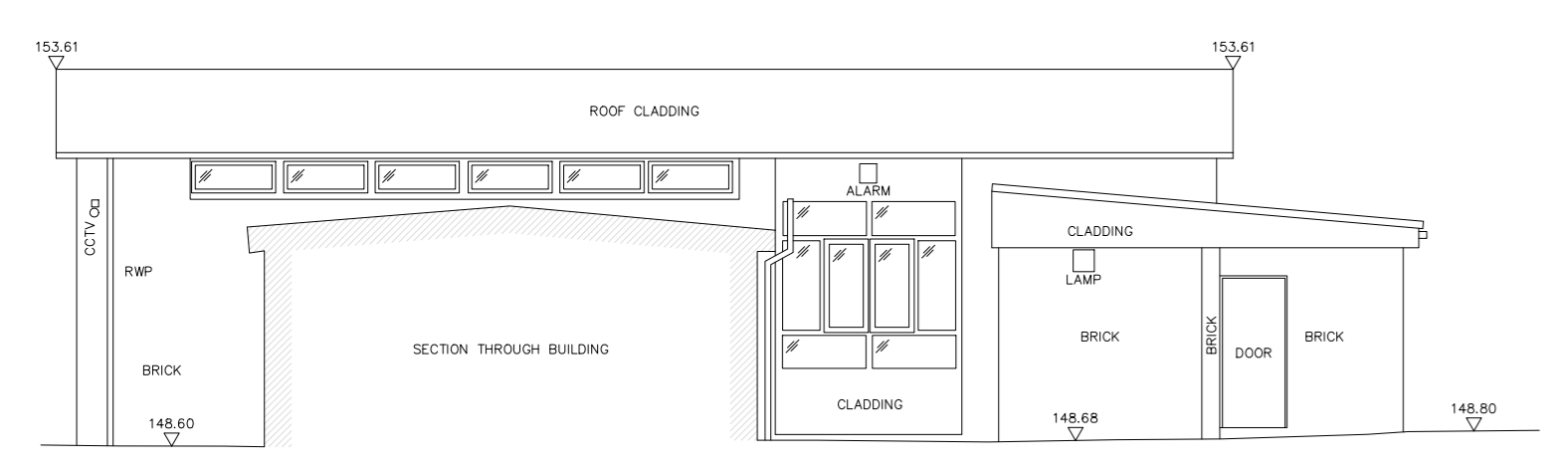
Datum 146.00m
 Elevation A1



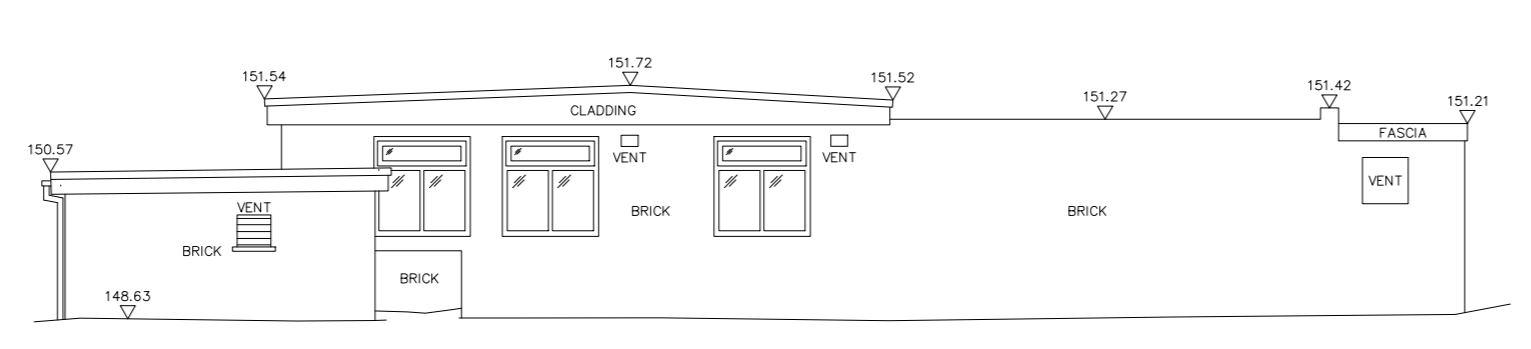
Datum 146.00m
 Elevation A2



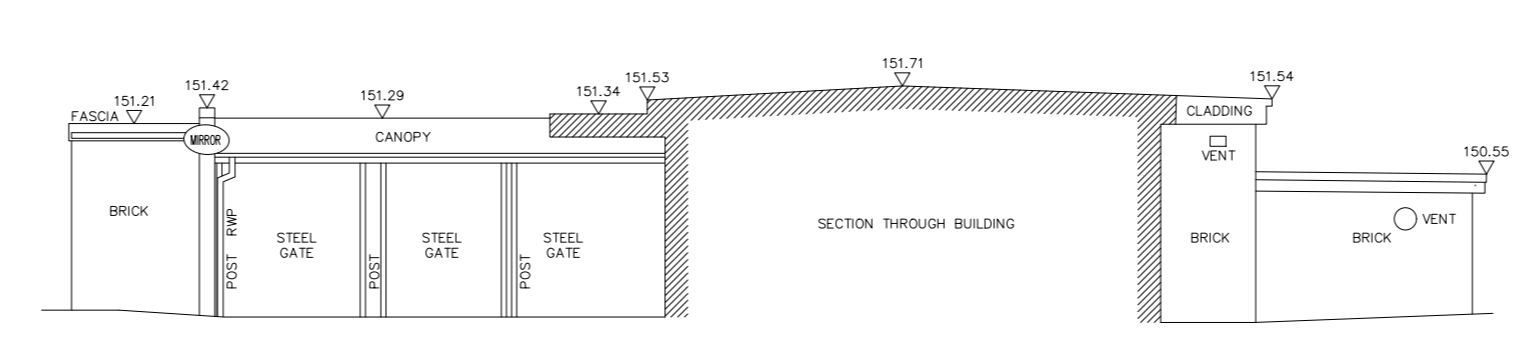
Datum 146.00m
 Elevation A3



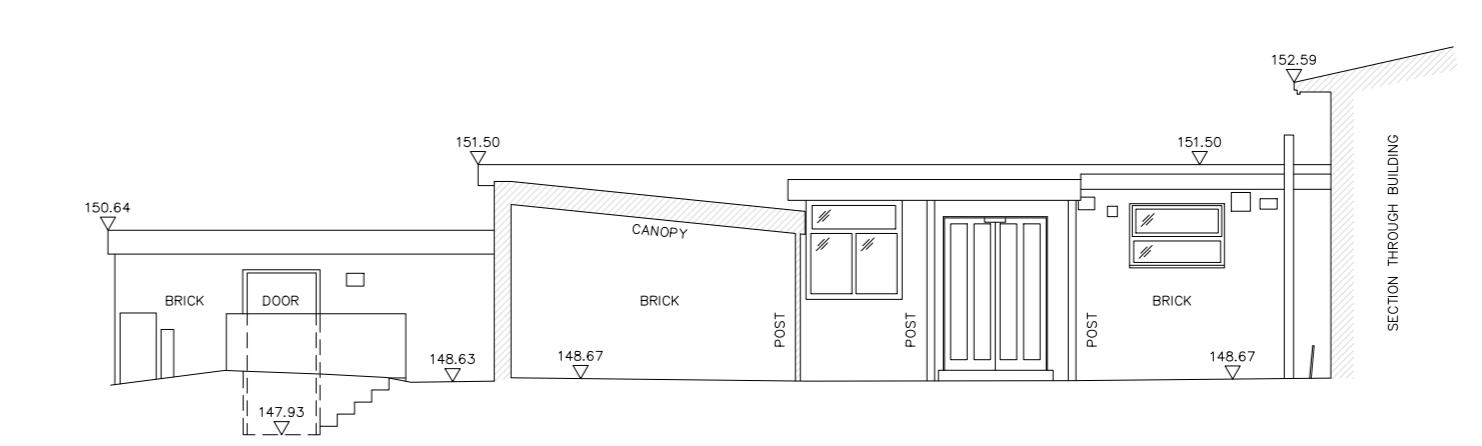
Datum 146.00m
 Elevation A4



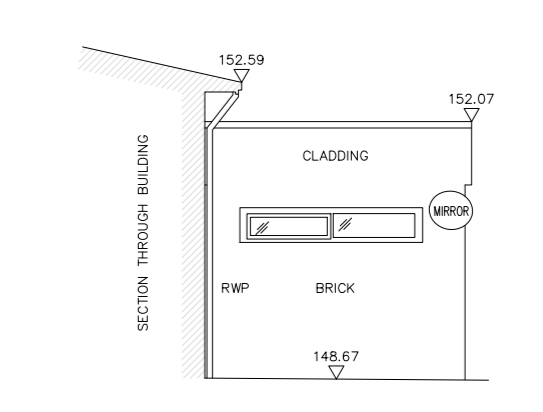
Datum 146.00m
 Elevation A5



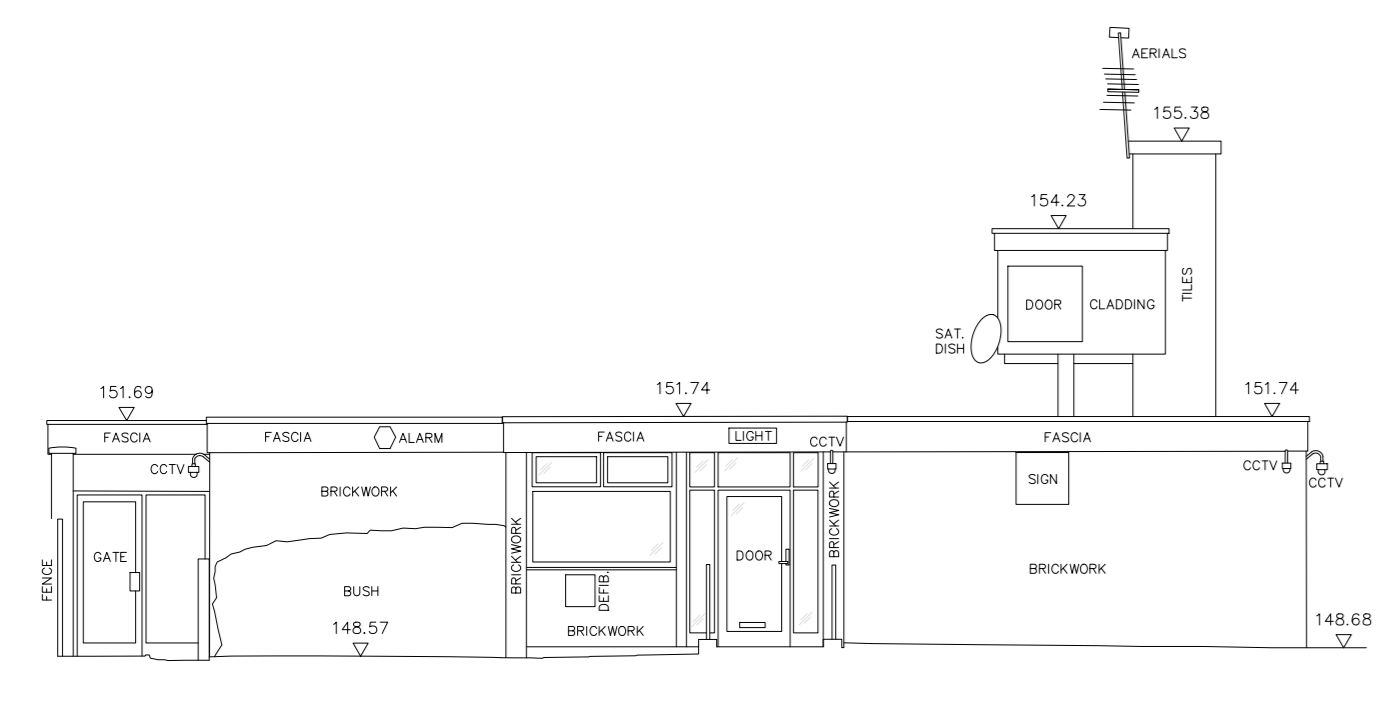
Datum 146.00m
 Elevation A6



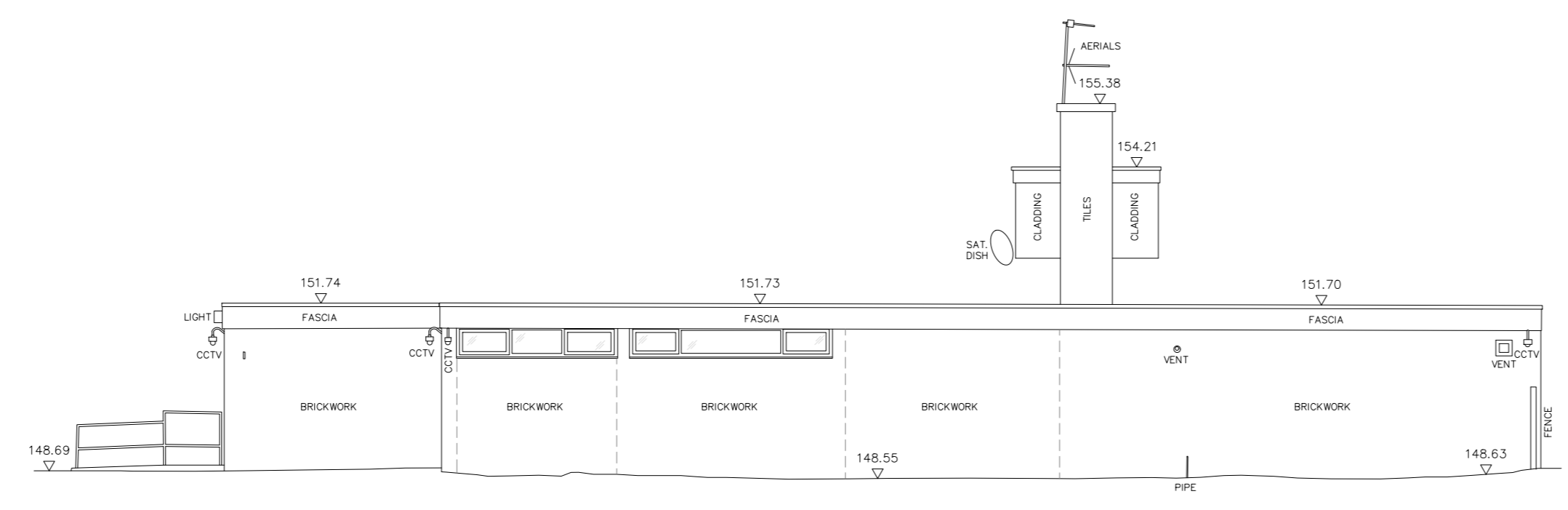
Datum 146.00m
 Elevation A7



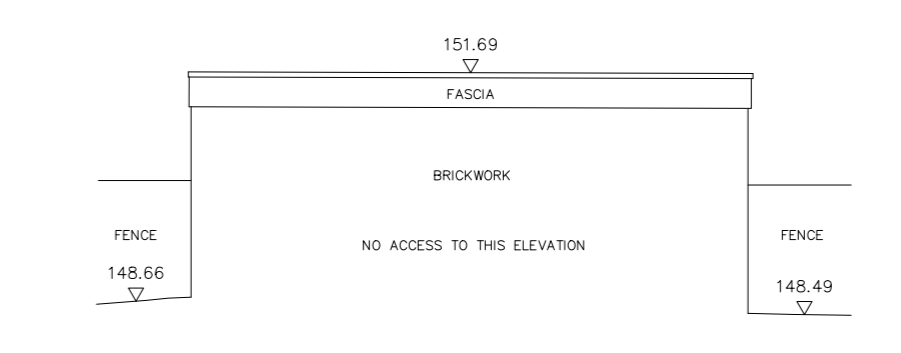
Datum 146.00m
 Elevation A8



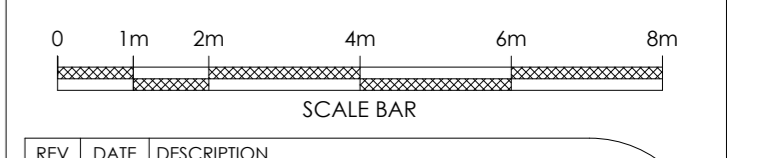
Datum 146.00m
 Elevation B1



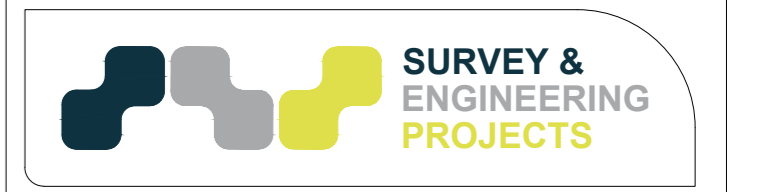
Datum 146.00m
 Elevation B2



Datum 146.00m
 Elevation B3



REV	DATE	DESCRIPTION



Client
 Willmott Dixon Construction Ltd (Oldham)
 Hollinwood Business Centre
 Albert Hill
 Albert Street
 Oldham
 OL8 3QL

Project Title
 Building Elevations of:
 Maple Community Hub
 Memorial Park
 Stockport
 SK6 6NY

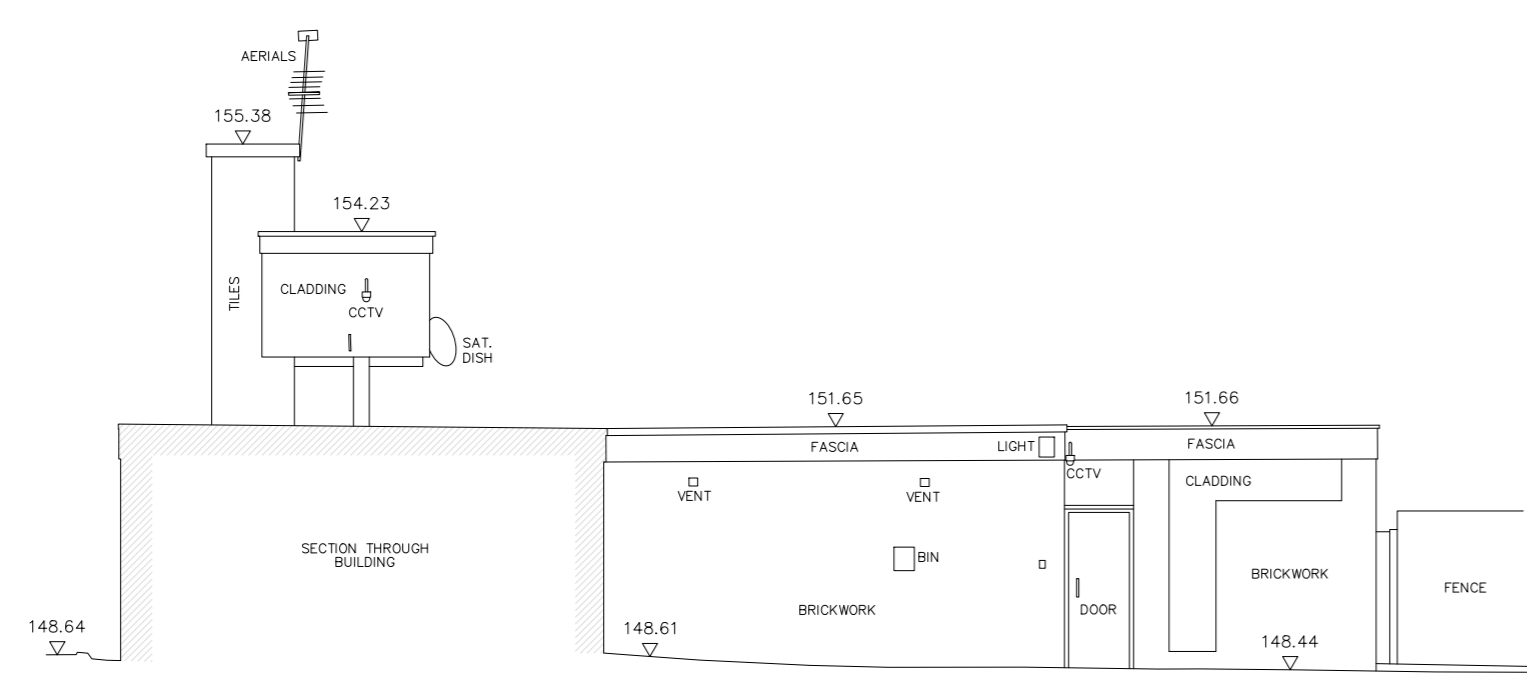
Surveyed	Drawn	Checked
H.K. Kibler	S.C./M.L.S	C. WIS
Scale 1:100	Date Feb 24	Drawing Ref. S25049-EL
No. 02	Size A0	Rev --

FOR ELEVATION LOCATION PLAN.
 PLEASE SEE S25049-EL - SHEET 01

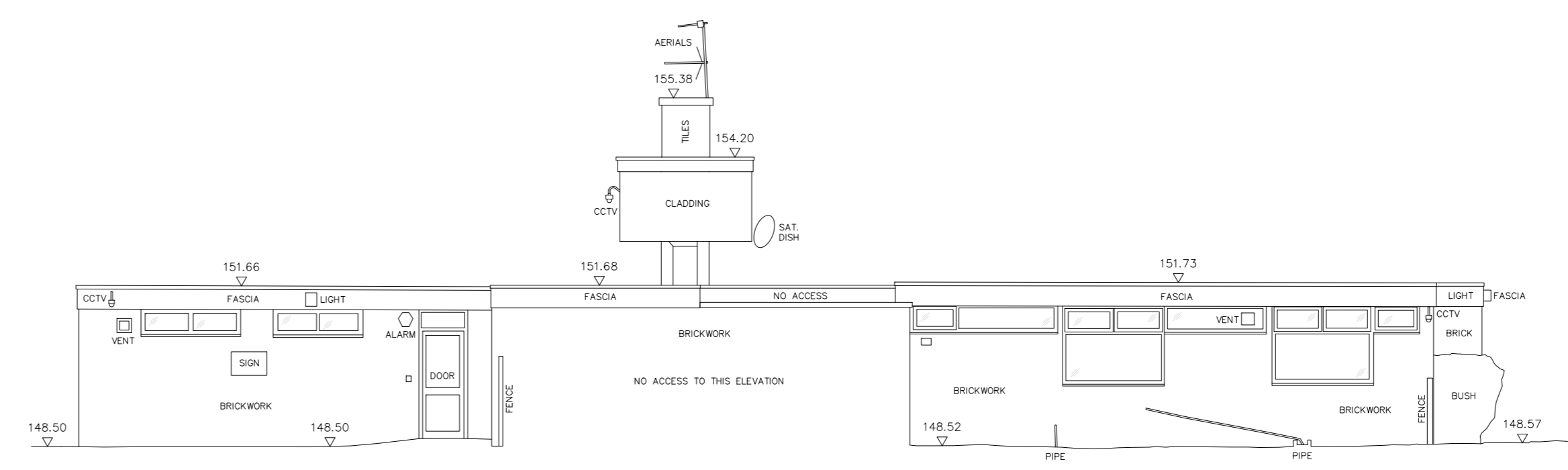
ELEVATION LOCATION PLAN

File Name: S25049-EL.dwg

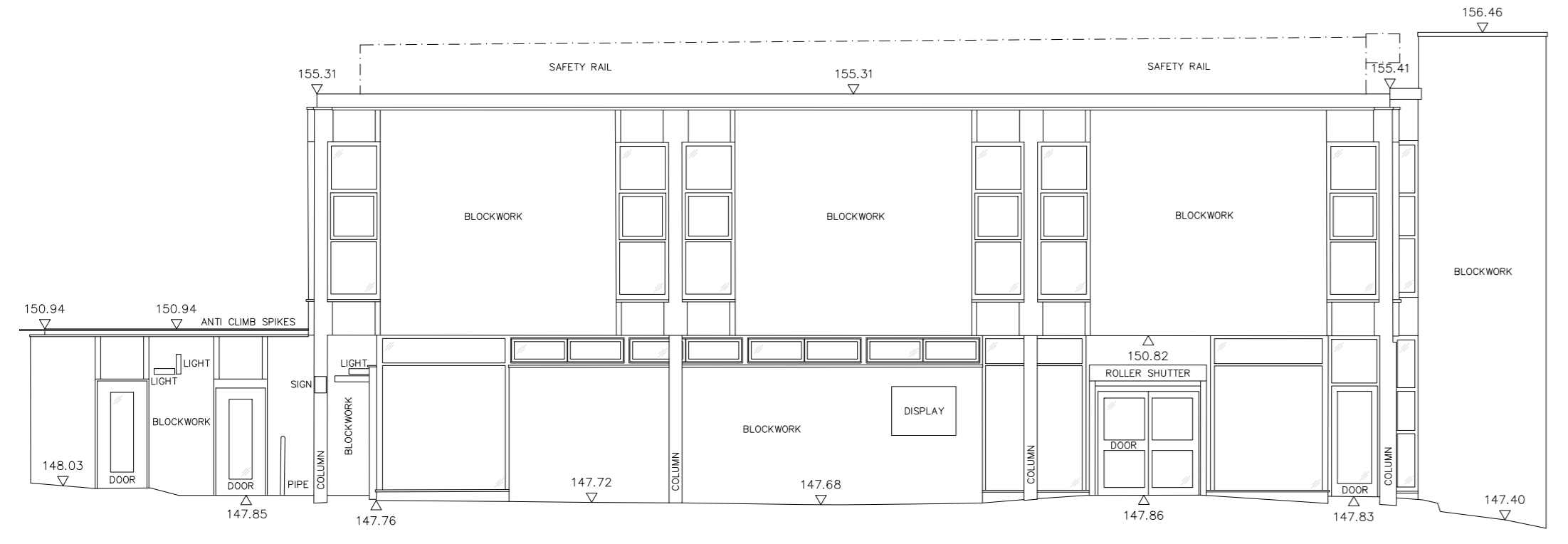
NOTES:
 All elevations to O.S. (Newlyn) Datum, established using network RTK.
 Survey plotted on a plane table grid, uncorrected to National Grid.



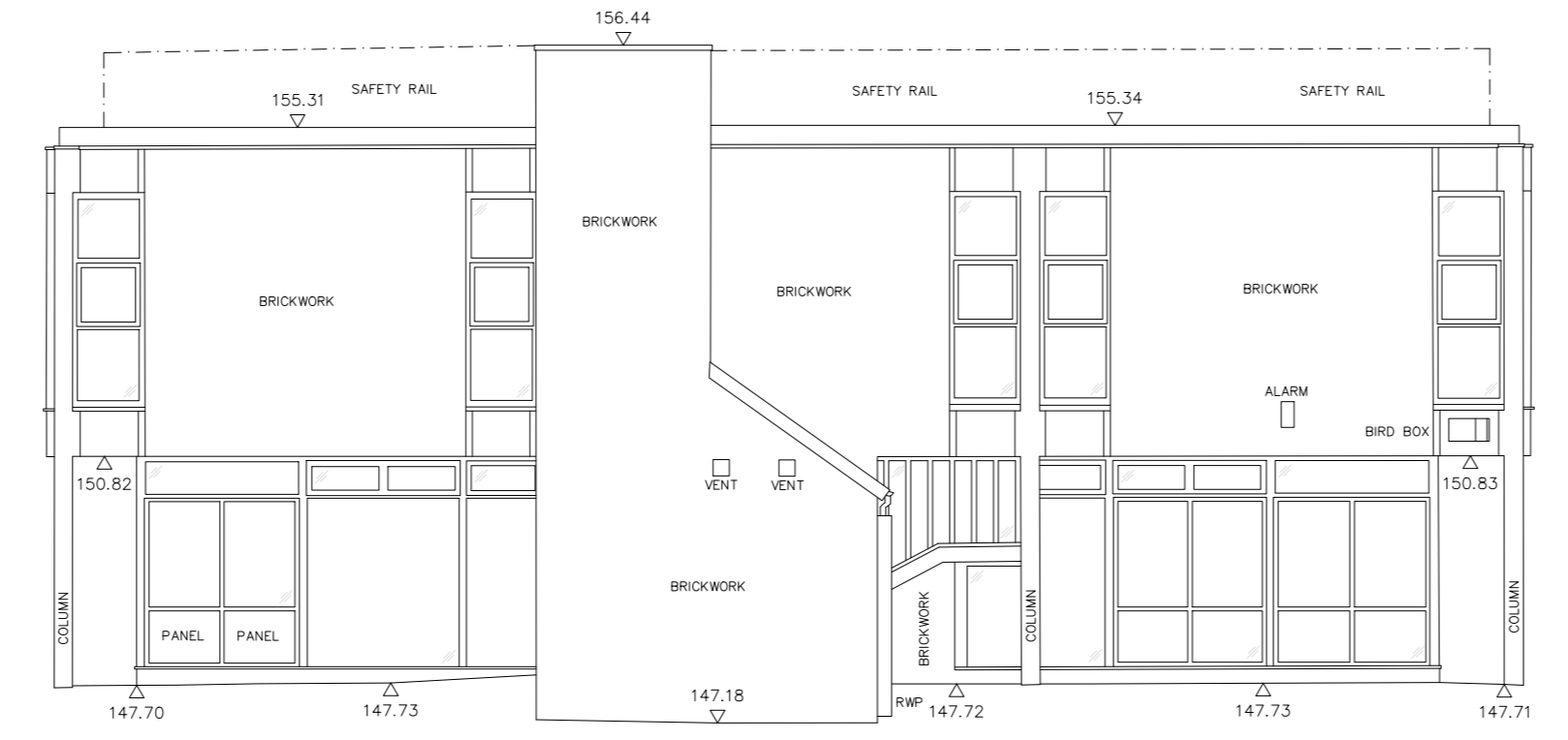
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 Elevation B4



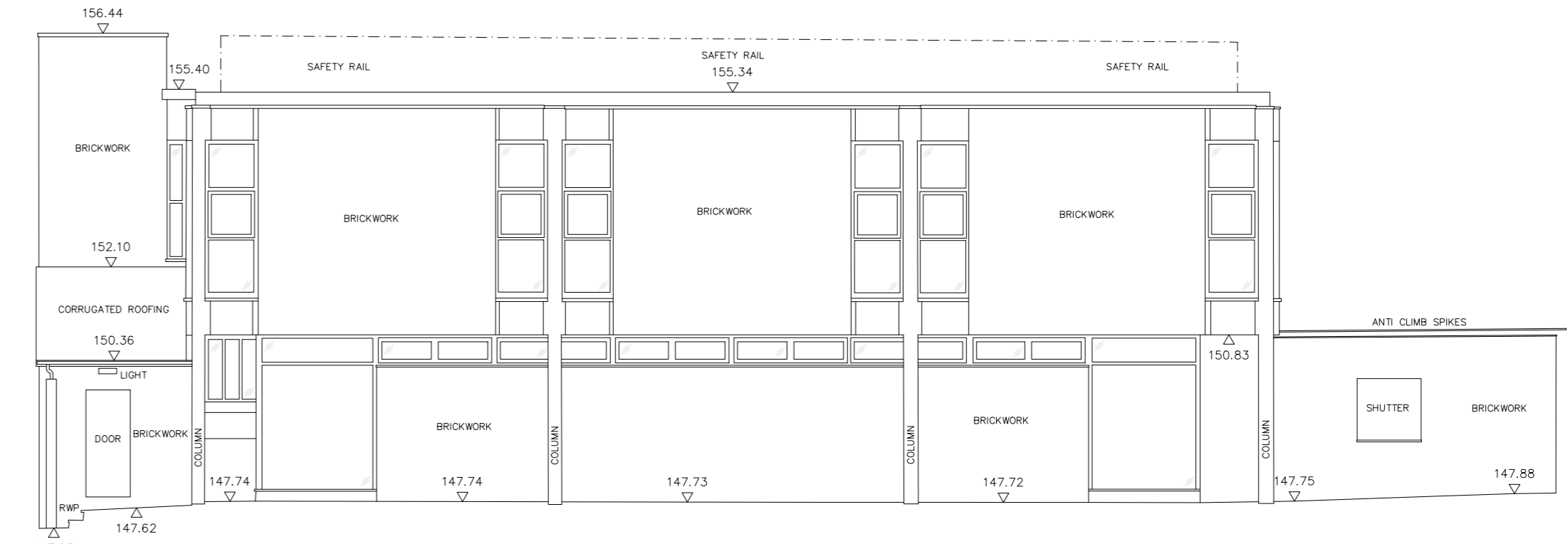
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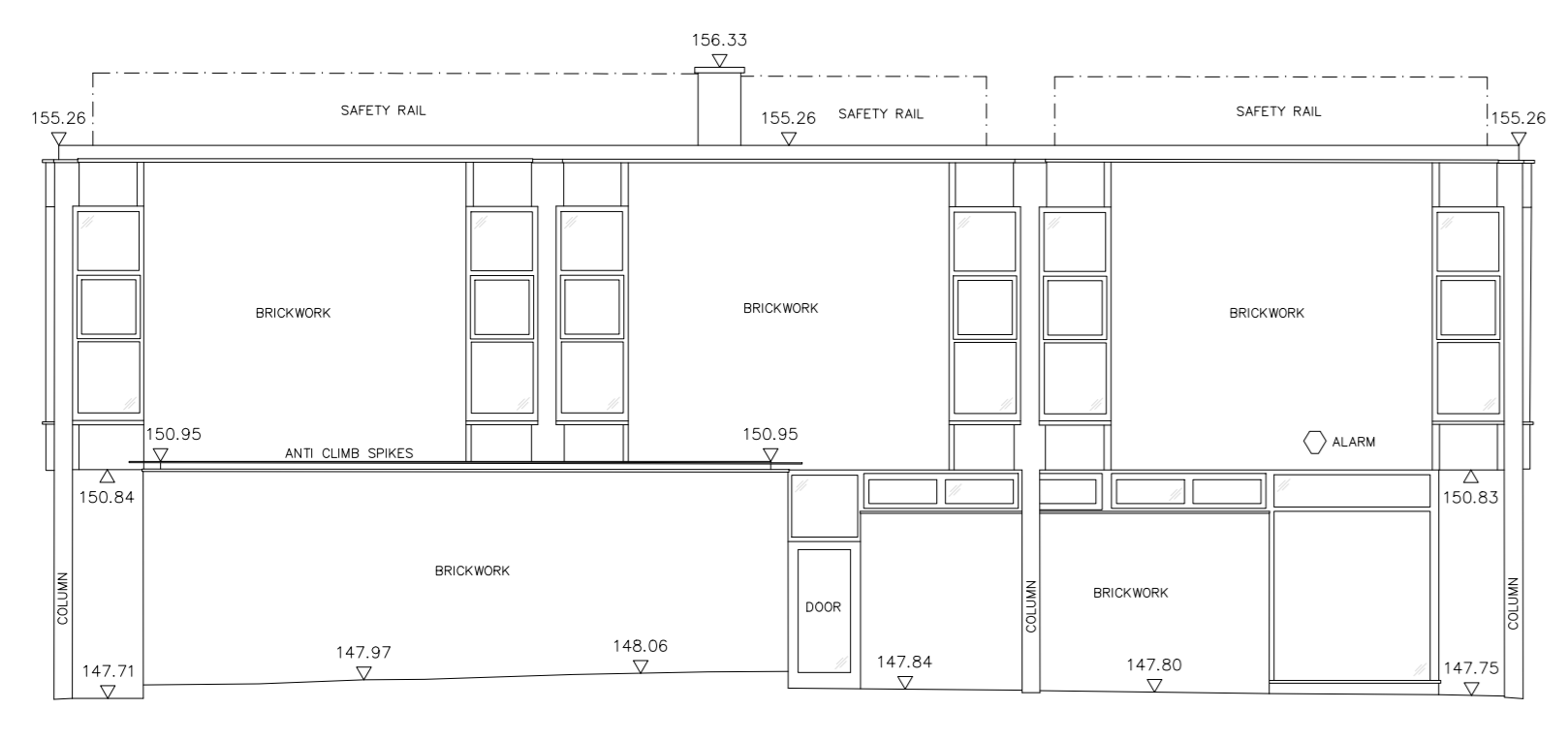
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 Elevation C1



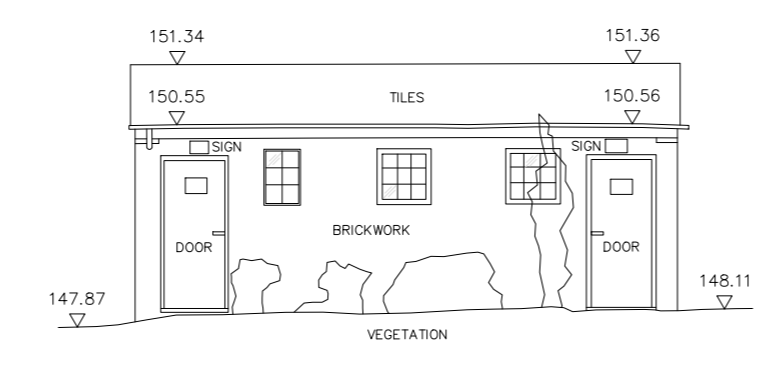
Datum 145.00m
 Elevation C2



Datum 145.00m
 Elevation C3



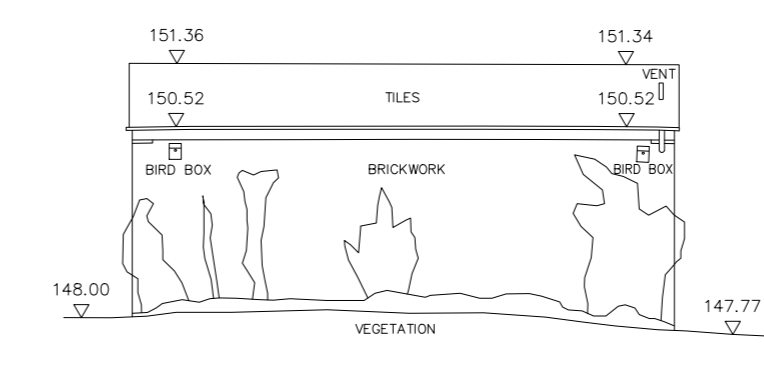
Datum 145.00m
 Elevation C4



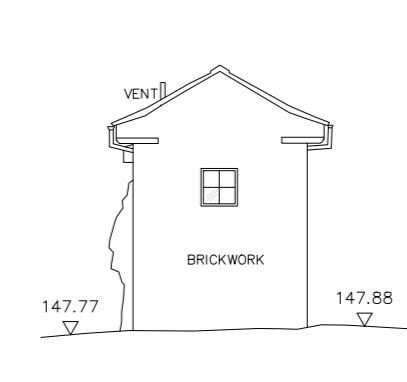
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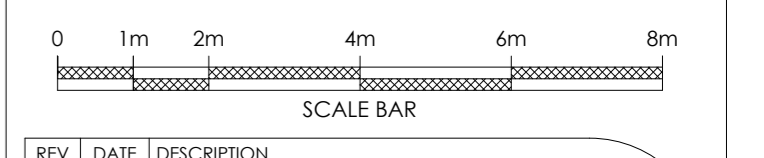
Datum 146.00m
 Elevation D2



Datum 146.00m
 Elevation D3



Datum 146.00m
 Elevation D4



REV	DATE	DESCRIPTION



Client
 Willmott Dixon Construction Ltd (Oldham)
 Hollinwood Business Centre
 Albert Hill
 Albert Street
 Oldham
 OL8 3QL

Project Title
 Building Elevations of:
 Maple Community Hub
 Memorial Park
 Stockport
 SK6 6NY

Surveyed	Drawn	Checked
H.K.Kleber	S.C./M.L.S	C.WIS
Scale 1:100	Date Feb 24	Drawing Ref. S25049-EL
No. 03	Size A0	Rev --



- Legend**
- Planning Boundary
 - Extent of Works
 - Designated Area for Community Woodland Planting
- Hardworks**
- Proposed Vehicular Tarmacadam To Engineers' detail
 - Proposed Vehicular Tarmacadam Permeable Surface - To Engineers' detail
 - Resurfaced Vehicular & Pedestrian Tarmacadam Existing road & Footpath to be resurfaced
 - Proposed Pedestrian Tarmacadam To Engineers' detail
 - Paving Type 1a / 1b Concrete Pavers Marshall's Modal & Tegula - or similar approved Paving will be laid as a permeable system in front of the Community Hub
 - Paving Type 2 Concrete Pavers Marshall's Modal - or similar approved
 - Play safety surface Wetpour rubber
 - Concrete Slab Base To ASHP compound - To Engineers' detail
 - Existing woodland path To be retained
 - Existing Pedestrian Connection To be widened and repaved
- Walls**
- Retaining wall
 - Low brick wall - To Engineers' detail
- Softworks**
- Proposed Amenity Grass
 - Proposed Ornamental Planting Shade Mix
 - Proposed Ornamental Planting Sun Mix
 - Proposed Native Scrub Planting
 - Proposed Native Hedge Mix
 - Proposed Tree
 - Existing Tree
 - Existing woodland to be Retained
 - New Planted Woodland Area = 4,602m²
 - Proposed Rain Garden / Swale
 - Proposed Wildflower Meadow Species-rich mix Area = 2,500m²
 - Proposed Rain Garden / Hydro Planters
- Furniture**
- Proposed 1.1m high Guardrail/Balustrade
 - Proposed Bow Top Fence To match existing on site
 - Proposed 3m high Solid and Hit & Miss Acoustic Timber Fence with matching gate and mesh on top To Air Source Heat Pump Compound - Refer to details
 - Proposed 2.4m high Timber Fence To Bin Store Enclosure
 - Proposed Handrail to Steps and Ramps
 - Proposed Knee Rail To Police parking segregation line
 - Proposed Bollards (Fixed & Removable)
 - Proposed Cycle Stands Sheffield Stands
 - Proposed Lockable Cycle Storage Two bikes capacity
 - Proposed Scooter Rack
 - Electric Vehicle Charging Point To Engineers' detail
 - Proposed Door Barrier
 - Proposed Motorcycle Locking Hoop
 - Proposed Hi-Vis Wheel Stops To car park aisles
 - Proposed Seat
 - Proposed Litter Bin
 - Proposed Pop-up Power Unit
- Ecological Enhancements**
- Proposed Bird Box 8 no. Small Bird Nest Box from Nestbox [or similar approved] Product code: A15MA
 - Proposed Bat Box 6 no. Schwegler 1FF Flat Bat Box from Wildcare [or similar approved] Product Code: SKU 10606 Position 4 - 6 m height from ground level.

Notes:

All hardworks proposals shown are indicative only for coordination purposes, for all civil engineering / highway / structural and drainage refer to Engineer's drawings and specification.

All drainage proposals detailed by Engineer. Full resolution between ownership boundary and existing / proposed adopted highway to be determined.

All build ups by Engineer.

Levels to vehicular areas are to be provided by the Engineer.

All highway road markings and signage to be provided by the Engineer.

All manholes to be recessed covers within paved areas and provision included to orientate 90° to paving orientation and raised / lowered as required to suit new finished ground levels throughout the site - it is the main contractor's responsibility to obtain approval from each statutory undertaker for any adjustments to their existing manhole covers.

Levels within Tree Root Protection Areas to remain as existing.

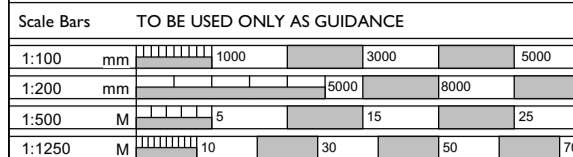
Revision	Author	Issue	Date
P10	BLU	BLU	16/07/24
POS	JPB	BLU	24/06/24
Stage 3 updates	POB	JPB	24/05/24
Substation added	POF	BLU	08/05/24
Final Stage 3 Issue	POG	BLU	28/04/24



Client: Willmott Dixon
Project: Marple Leisure & Community Hub
Title: Site Plan



Notes
 The Contractor is to check all dimensions and conditions on site before commencing. Do not scale from this drawing.
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Spatial Zoning Key:

- Cafe Area
- Circulation
- Operator
- Plant
- Pool Environment

GF Room Schedule	
Room Name	Room Area
Plant Room	119.18 m ²
Pool Store	11.46 m ²
Chemical Store	5.60 m ²
First Aid	10.67 m ²
Chemical Store	5.60 m ²
Switch Room	10.25 m ²
Splash Pad	33.98 m ²
Pool Hall	469.71 m ²
Pool Viewing Area	24.55 m ²
Pre Swim Showers	16.72 m ²
Post Swim Showers	6.82 m ²
Changing Places	15.98 m ²
WC	2.04 m ²
AWC	3.74 m ²
WC	2.04 m ²
WC	2.04 m ²
Group Change 1	17.88 m ²
Group Change 2	17.98 m ²
AWC + ACC	6.37 m ²
Changing Village	178.46 m ²
Cleaners Store	6.17 m ²
Vanity	2.92 m ²
Office	37.85 m ²
Stair 1	44.00 m ²
Reception	18.05 m ²
Servery	26.73 m ²
Stair 2	20.45 m ²
Marple Community Hub	441.09 m ²
Meeting Room 2	12.36 m ²
Community Room	45.19 m ²
Draft Lobby	18.39 m ²
WC	2.71 m ²
AWC	4.10 m ²
Buggy Store	9.20 m ²
Meeting Room 1	17.88 m ²
Lift 2	5.34 m ²
Vending	1.38 m ²
Escape Stair	7.83 m ²
Riser	1.50 m ²
Comms Room	5.09 m ²

Exterior Plant 207.40 m²
 1894.96 m²

Rev	Description	By	Date
P08	Updated to show FFE proposals.	DAS	26.04.24
P07	2nd lift reintroduced.	DAS	10.04.24
P06	Reception and Servery reverted to previous layout.	DAS	09.04.24
P05	Additional windows added to Community Room + Lift 2 omitted + Lift 1 increased to 13 person.	DAS	08.04.24
P04	Updated to client comment. Reception and Servery repositioned + Pool Viewing repositioned + wall thicknesses updated + Stair 2 altered + Library updated + South external wall repositioned.	DAS	26.03.24
P03	M&E Updates	TT	13.03.24
P02	Ground Floor amended to align with client proposal	MBR	28.02.24
P01	Elevation updates and minor plan amendments in line with client comments	TT	23.02.24

Client: Willmott Dixon Construction

Job: 6160-Marple Leisure Centre

Drawing: Planning Proposed Level 00 Plan

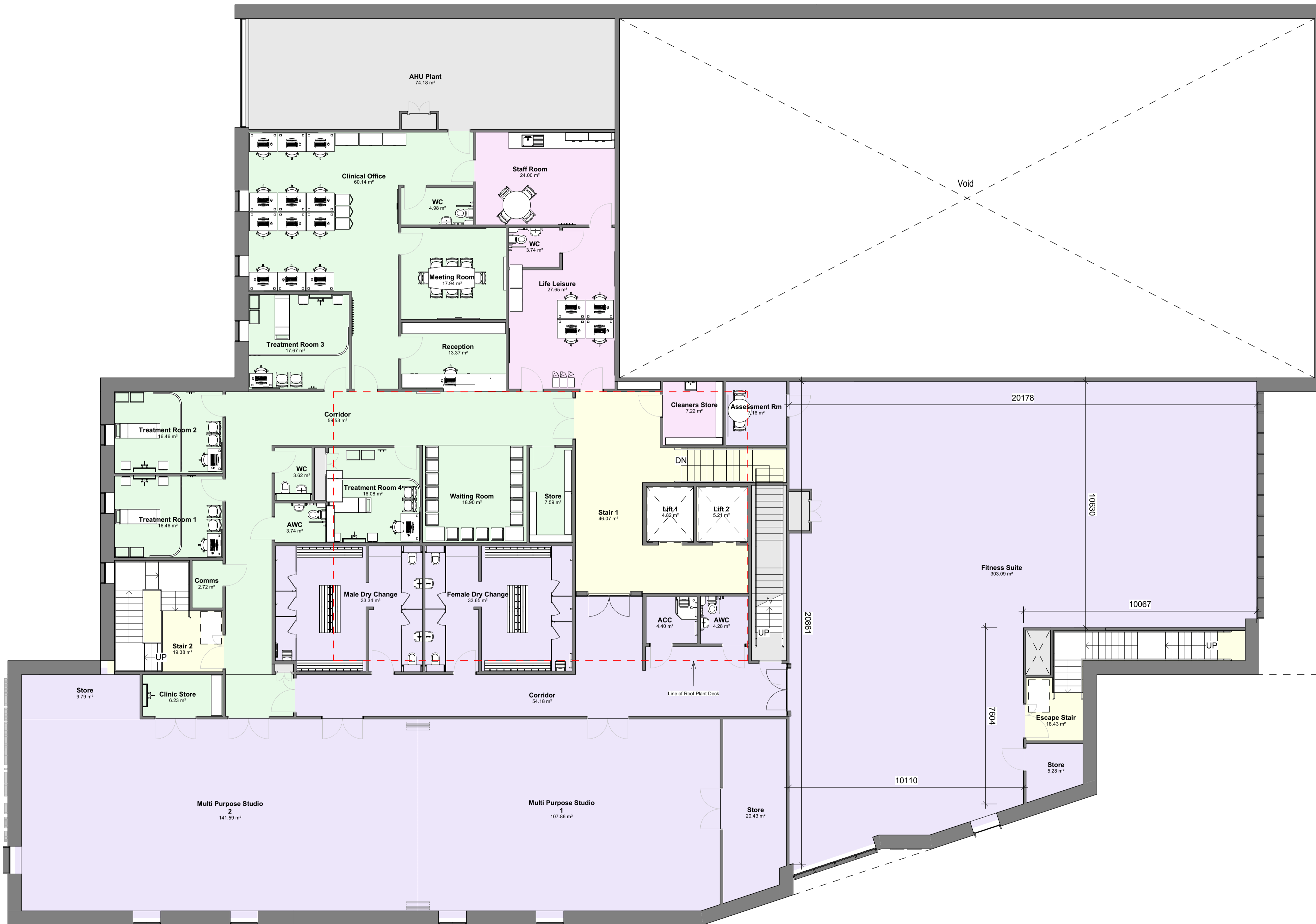
Ref: 6160 12001 P08
 MCH-POZ-M1-00-D-A-12001

Date: 16.02.24 Scale: 1:100 @ A1

NO	NO	NO	NO
DM	DAS	S2	
Planning	Tender	Construction	
Design	Contract	Construction Record	



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 architects@pozzoni.co.uk



Notes
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Scale Bars TO BE USED ONLY AS GUIDANCE

1:100	mm	0	1000	2000	3000
1:200	mm	0	1000	2000	3000
1:500	m	0	10	20	30
1:1250	m	0	10	20	30

Spacial Zoning Key:

- Circulation
- Clinic
- Dry Fitness
- Operator
- Plant

FF Room Schedule	
Room Name	Room Area
Multi Purpose Studio 2	141.59 m ²
Multi Purpose Studio 1	107.86 m ²
Store	20.43 m ²
ACC	4.40 m ²
AWC	4.28 m ²
Corridor	54.18 m ²
Corridor	59.53 m ²
Clinic Store	6.23 m ²
Store	9.79 m ²
Male Dry Change	33.34 m ²
Female Dry Change	33.65 m ²
AWC	3.74 m ²
WC	3.62 m ²
Treatment Room 4	16.08 m ²
Waiting Room	18.90 m ²
Store	7.59 m ²
Treatment Room 2	16.46 m ²
Treatment Room 1	16.46 m ²
Stair 2	19.38 m ²
Stair 1	46.07 m ²
Lift 2	5.21 m ²
Cleaners Store	7.22 m ²
Store	5.28 m ²
Reception	13.37 m ²
Treatment Room 3	17.67 m ²
Clinical Office	60.14 m ²
WC	4.98 m ²
WC	3.74 m ²
Staff Room	24.00 m ²
Meeting Room	17.94 m ²
Life Leisure	27.65 m ²
AHU Plant	74.18 m ²
Fitness Suite	303.09 m ²
Escape Stair	18.43 m ²
Assessment Rm	7.16 m ²
Plant Access	11.37 m ²
Comms	2.72 m ²
Lift 1	4.82 m ²
Riser	1.08 m ²
Riser	0.27 m ²
Riser	1.50 m ²
Riser	1.02 m ²
Riser	2.06 m ²
	1238.49 m ²

PO06	Updated to show FFE proposals.	DAS	26.04.24
P05	2nd lift reintroduced.	DAS	10.04.24
P04	Dimensions added to Fitness Suite + Escape Corridor to rear of Stair 1 omitted + Lift 2 omitted + Lift 1 enlarged to 13 person.	DAS	08.04.24
P03	Updated to client comment. Wall thicknesses reduced + Stair 2 updated + Plant access updated + Staff Room and Office space updated + South external wall repositioned.	DAS	26.03.24
P02	M&E Updates	TT	13.03.24
P01	Elevation updates and minor plan amendments in line with client comments	TT	23.02.24

Rev	Description	By	Date
Client	Willmott Dixon Construction		

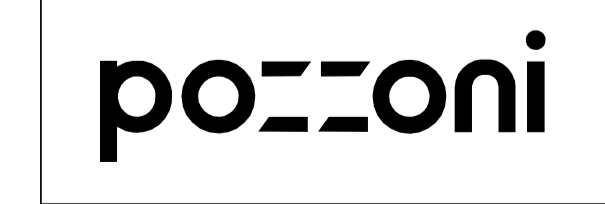
Job: 6160-Marple Leisure Centre

Drawing: Planning Proposed Level 01 Plan

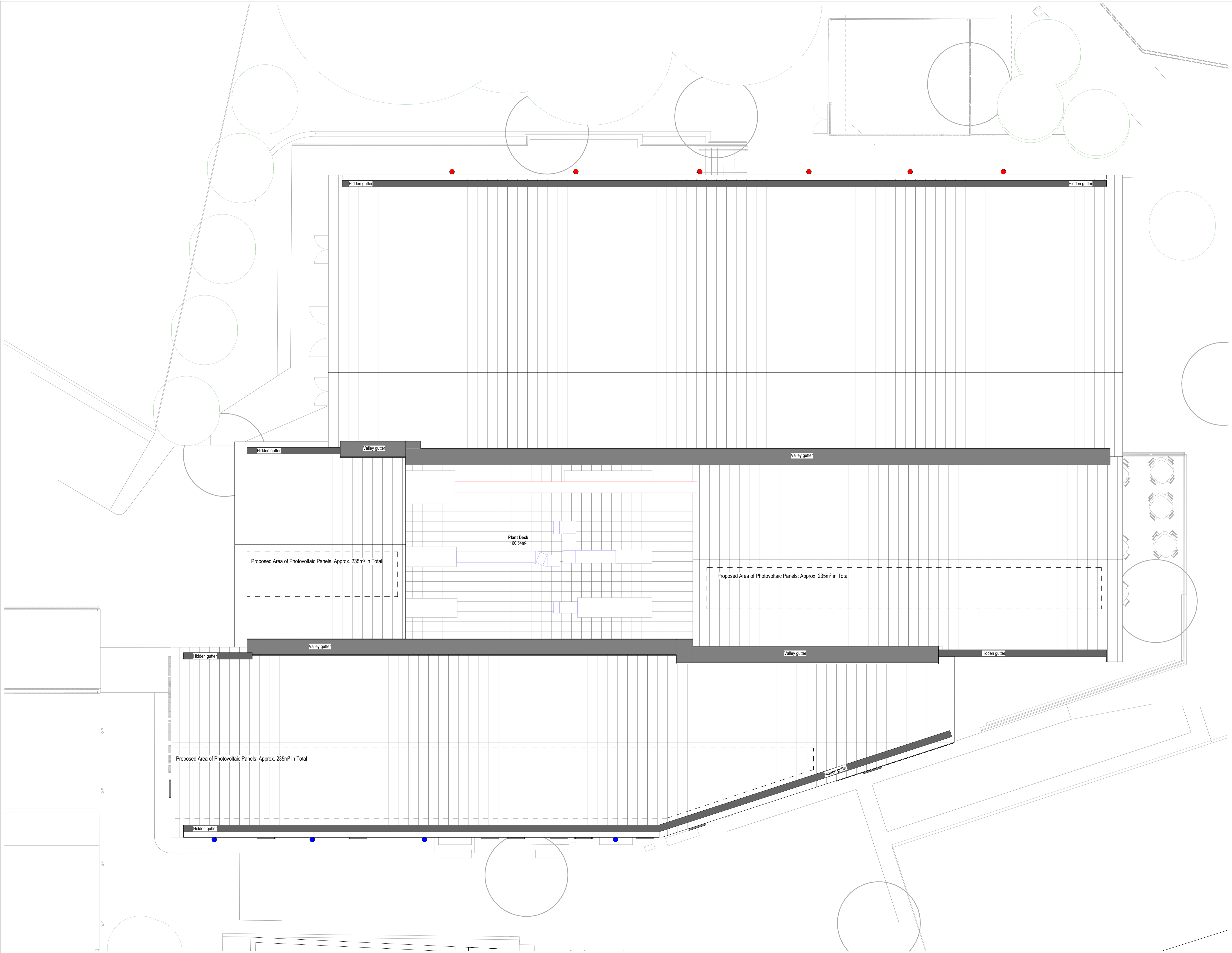
Ref: 6160_12002 PO06
 MCH-POZ-M1-01-D-A-12002

Date: 16.02.24 Scale: 1:100 @ A1

DM	Approved	DAS	STATUS	S2
Planning	Tender	Construction		
Design	Contract	Construction Record		



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 www.pozzoni.co.uk
 architects@pozzoni.co.uk



Notes
 The Contractor is to check all dimensions and conditions on site before commencing. Do not scale from this drawing.
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Scale Bars: TO BE USED ONLY AS GUIDANCE

1:100	mm	0	1000	2000	3000
1:200	mm	0	1000	2000	3000
1:500	m	0	10	20	30
1:1250	m	0	10	20	30

- Roof Key**
- Standing Seam Roof
 - Gutter
 - Proposed PV location

- Ecological Enhancements**
- Proposed Bird Box
6No. on North Elevation
8No. in Truss
 - Proposed Bat Box
4No. on South Elevation
6No. in Truss
- Bird and Bat box locations are informative only and are to be agreed with the ecologist.

Rev	Description	By	Date
P04	Indicative Bat and Bird boxes added.	JRC	22.05.24
P03	Area of proposed photovoltaic panels indicated.	DAS	01.05.24
P02	Updated to current site landscape plan.	DAS	26.04.24
P01	Updated to suite enlarged plant deck and footprint adjustment.	DAS	08.04.24

Client: Willmott Dixon Construction
 Job: 6160-Marple Leisure Centre

Planning Proposed Roof Plan

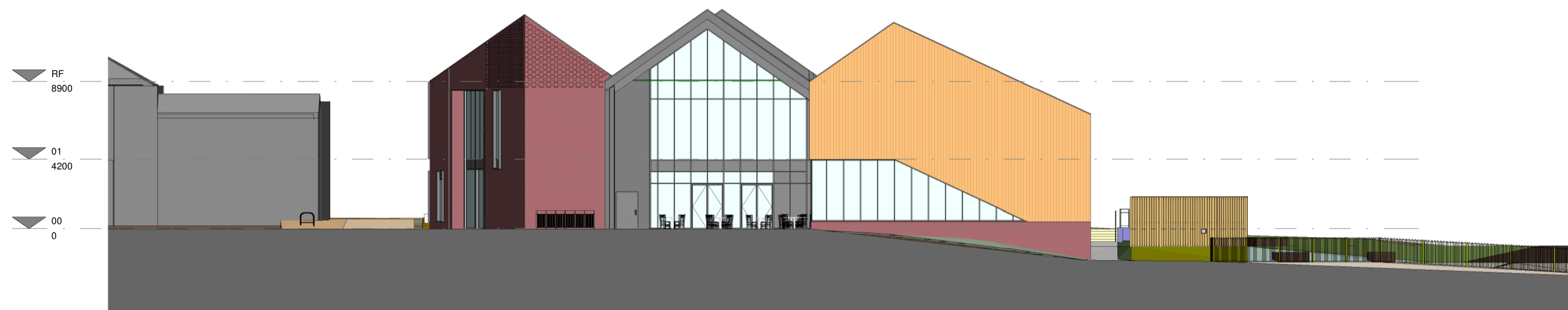
Author	POZ/DM	Rev	P04
Date	16.02.24	Scale	1 : 100 @ A1
Project No.	DM	Version	DAS
Project Name	Planning	Contract	Construction
Project Status	Design	Contract	Construction Record

pozzoni

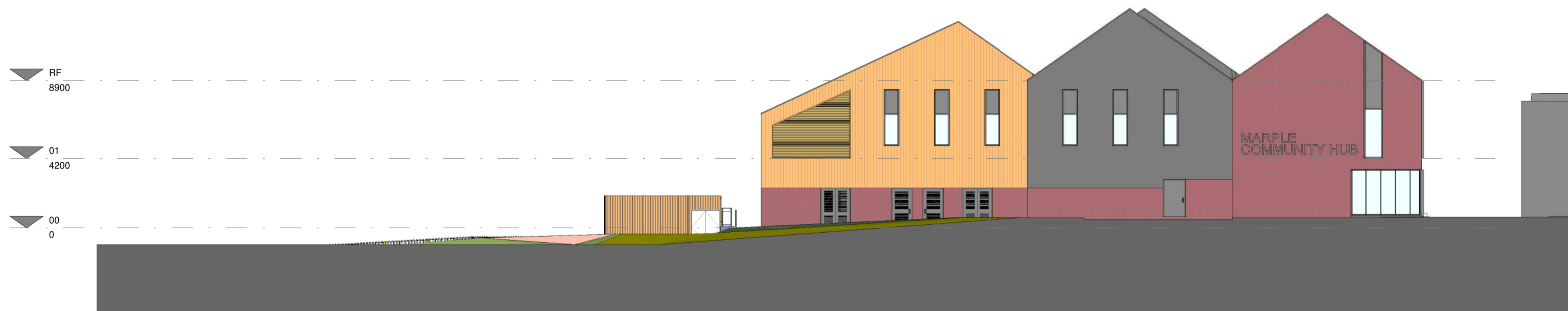
Woodville House
 2 Woodville Road
 Altrincham
 WA14 2FH
 +44 161 928 7848
 www.pozzoni.co.uk
 architects@pozzoni.co.uk



Planning Elevation - North



Planning Elevation - East



Planning Elevation - West



Planning Elevation - South

Notes
The Contractor is to check all dimensions and conditions on site before commencing. Do not scale from this drawing.
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Scale Bars TO BE USED ONLY AS GUIDANCE

1:100	mm	0	1000	2000	3000
1:200	mm	0	1000	2000	3000
1:500	m	0	10	20	30
1:1250	m	0	10	20	30

- External Finishes**
- Red Facing Brick
 - Composite Timber Cladding
 - Standing Seam Cladding

- Ecological Enhancements**
- Proposed Bird Box
8No. on North Elevation
8No. in Trees
 - Proposed Bat Box
4No. on South Elevation
6No. in Trees

Bird and Bat box locations are informative only and are to be agreed with the ecologist.

P05	Indicative Bat and Bird boxes added. Area of proposed photovoltaic panels indicated.	JRC	22.05.24
P04	Updated to show true shadows.	DAS	02.05.24
P03	Landscaping updated to suit level alterations and ASHP compound update.	DAS	23.04.24
P02	Updated to A1 format with additional site context shown, including ASHP compound.	DAS	22.04.24
P01	Updated to suite enlarged plant deck and footprint adjustment.	DAS	08.04.24

Rev	Description	By	Date

Client: Willmott Dixon Construction

Job: 6160-Marple Leisure Centre

Drawing: Planning Proposed Elevations

Ref: 6160 13050 P05

Ref: MCH-POZ-M1-ZZ-D-A-13050

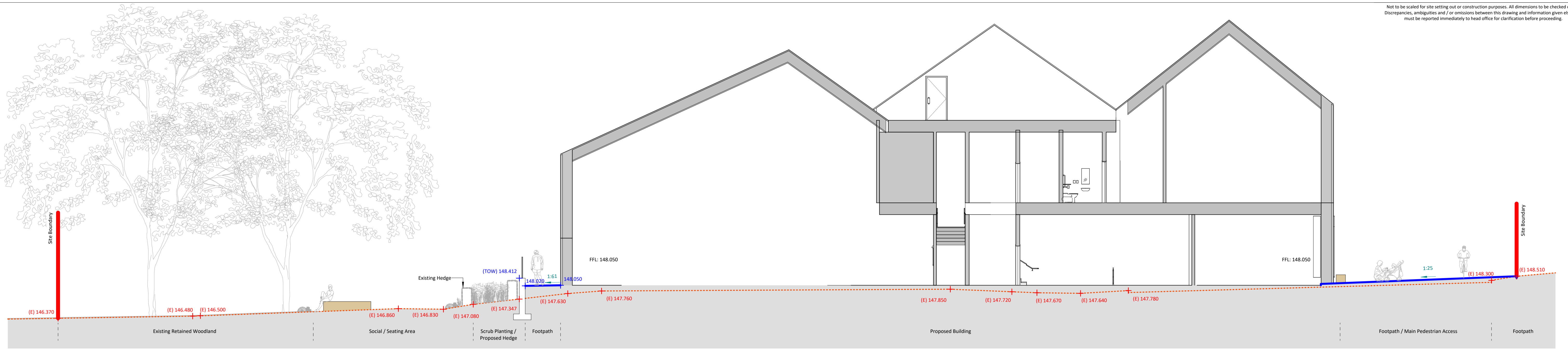
Date: 16.02.24 Scale: As indicated @ A1

Approved: DM DAS S2

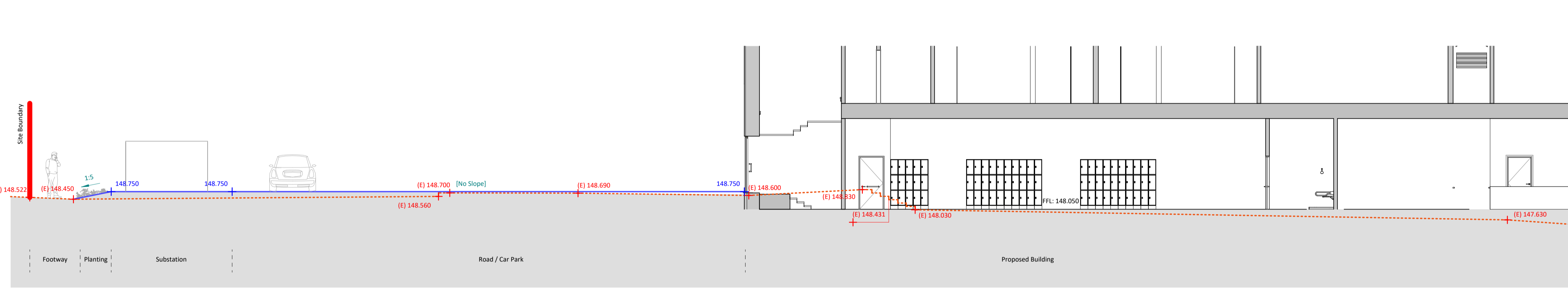
Planning	Tender	Construction
Design	Contract	Construction Record

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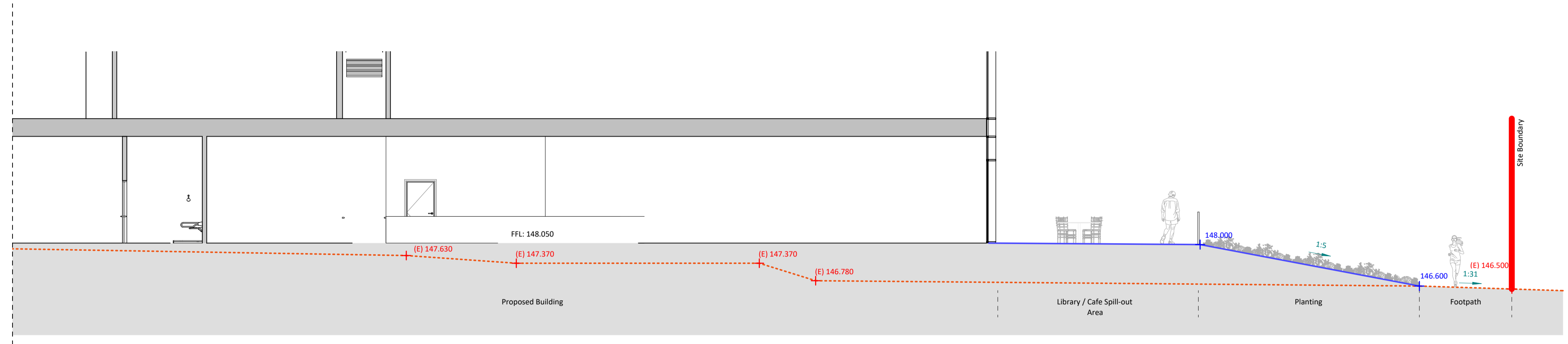
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Section 1
1 : 100



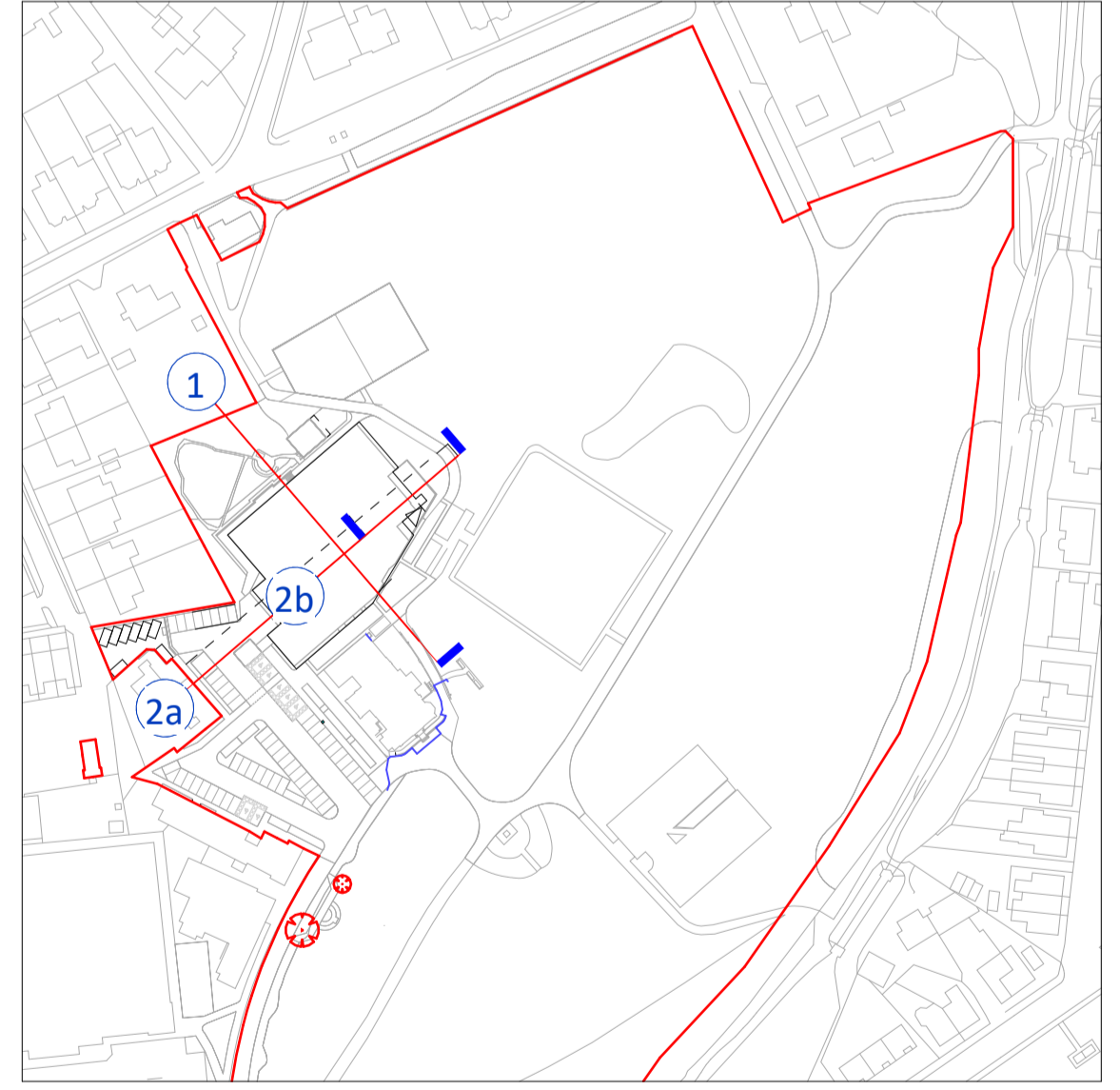
Section 2a
1 : 100



Section 2b
1 : 100

Legend

- Existing levels
- Proposed levels



Keyplan
1 : 2000

Substation added	P07	JPO	BLU	08/05/24
Final Stage 3 Issue	P06	BLU	BLU	26/04/24
Stage 3 Issue	P05	JPO	BLU	15/04/24
Stage 3 Issue	P04	JPO	BLU	01/03/24
Stage 3 Issue	P03	JPO	BLU	27/02/24

Revision Note	Rev.	Author	Aprvd	Date

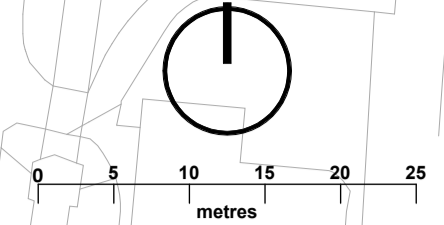


Client Willmott Dixon
Project Marple Leisure & Community Hub

Title Site Sections

Dwg. No.	MCH- OOB- ZZ- ZZ- D- L- 00040	Rev.	P07
Scale	1:100 @ A1	Date	Feb 2024

Not to be scaled for site setting out or construction purposes. All dimensions to be checked on site. Discrepancies, ambiguities and / or omissions between this drawing and information given elsewhere must be reported immediately to head office for clarification before proceeding.



Legend

- Planning Boundary
- Existing Contours
- +146.00 Existing Levels
- +148.67 Proposed Levels
- Existing Trees to be Retained
Linework from Topographical Survey drawing: 40785MCLS-01.dwg (Survey Solutions 28/06/22)
- Existing Trees to be Removed
- Existing Saplings to be Relocated within the Park
Location TBC

Notes:

All hardworks proposals shown are indicative only for coordination purposes, for all civil engineering/ highway/ structural and drainage refer to Engineer's drawings and specification.

All drainage proposals detailed by Engineer. Full resolution between ownership boundary and existing / proposed adopted highway to be determined.

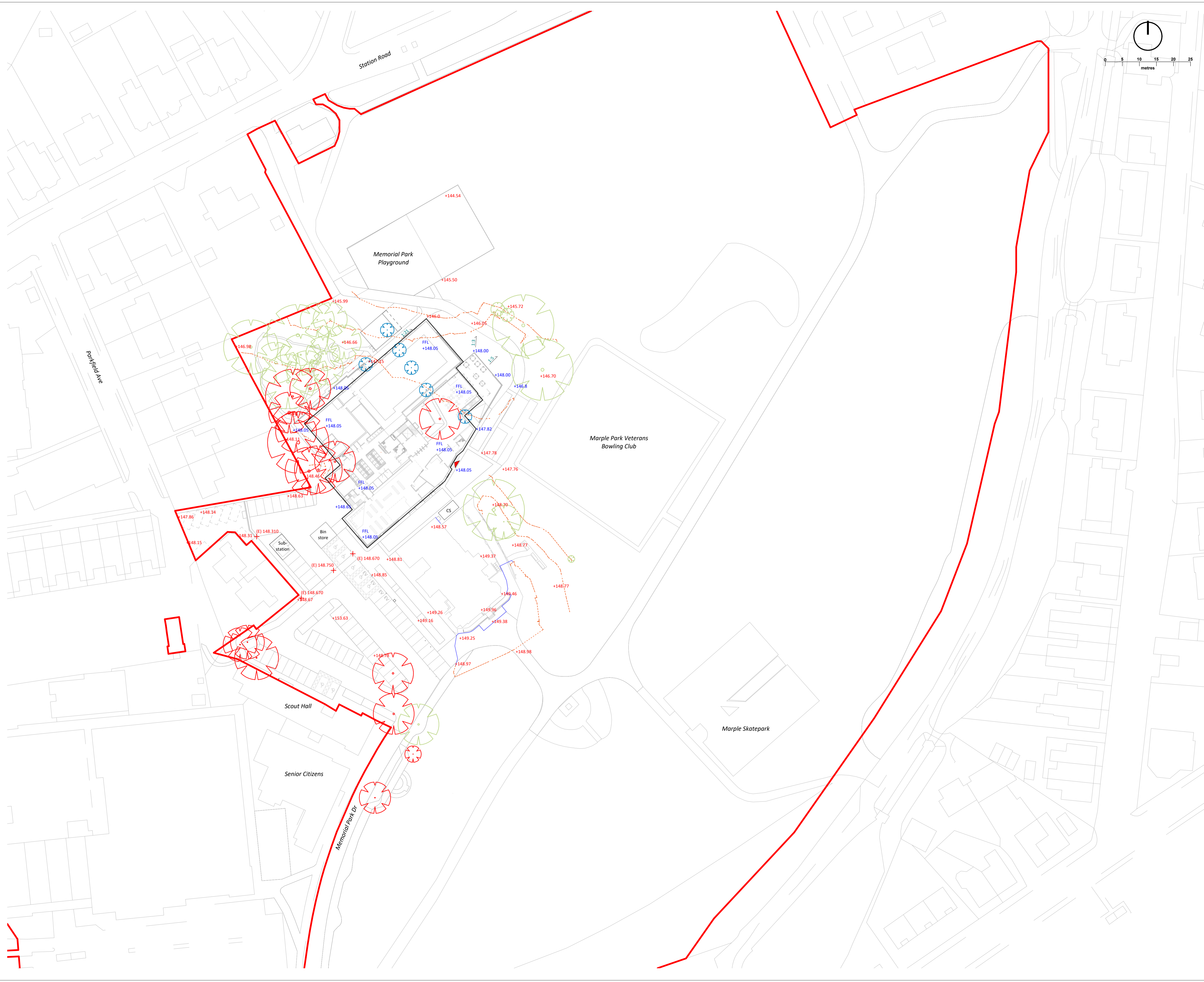
All build ups by Engineer.

Levels to vehicular areas are to be provided by the Engineer.

All highway road markings and signage to be provided by the Engineer.

All manholes to be recessed covers within paved areas and provision included to orientate 90° to paving orientation and raised/ lowered as required to suit new finished ground levels throughout the site - it is the main contractor's responsibility to obtain approval from each statutory undertaker for any adjustments to their existing manhole covers.

Levels within Tree Root Protection Areas to remain as existing.



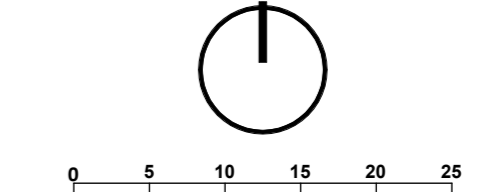
Stage 3 Updates	P08	JPO	BLU	24/05/24
Substation added	P07	JPO	BLU	08/05/24
Final Stage 3 Issue	P06	BLU	BLU	26/04/24
Stage 3 Issue	P05	JPO	BLU	15/04/24
Stage 3 Issue	P04	JPO	BLU	01/03/24

Revision Note	Rev.	Author	Aprvd	Date
		newcastle: studio 7, 8, 9, 10, 11th, 12th, 13th, 14th, 15th, 16th, 17th, 18th, 19th, 20th, 21st, 22nd, 23rd, 24th, 25th, 26th, 27th, 28th, 29th, 30th, 31st		
		london: the fisherics, 1, memmore terrace, london, e8 3jn. t: +44 (0)203 479 2649 edinburgh: 15 george street, edinburgh eh3 7jz. t: +44 (0)131 241 0309 glasgow: 177 w george st, glasgow metropolitan area, g2 2b. t: +44 (0)141 301 1465		

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Client: Willmott Dixon
Project: Marple Leisure & Community Hub

Title: Existing & Proposed Contours with Existing Trees to be Retained and/or Removed



Legend

- Site Boundary
- Extent of Works
- Softworks
- Proposed Amenity Grass
- Proposed Ornamental Planting Shade Mix
- Proposed Ornamental Planting Sun Mix
- Proposed Native Scrub Planting
- Proposed Native Hedge Mix
- Proposed Tree
- Existing Tree
- Existing woodland to be retained
- New Planted Woodland Area= 4,622m²
- Proposed Rain Garden / Swale
- Proposed Wildflower Meadow Species-rich mix Area= 2,500m²
- Proposed Rain Garden / Hydro Planters

Notes:

All hardworks proposals shown are indicative only for coordination purposes, for all civil engineering/highway/ structural and drainage refer to Engineer's drawings and specification.

All drainage proposals detailed by Engineer. Full resolution between ownership boundary and existing / proposed adopted highway to be determined.

All build ups by Engineer.

Levels to vehicular areas are to be provided by the Engineer.

All highway road markings and signage to be provided by the Engineer.

All manholes to be recessed covers within paved areas and provision included to orientate 90° to paving orientation and raised/ lowered as required to suit new finished ground levels throughout the site - It is the main contractor's responsibility to obtain approval from each statutory undertaker for any adjustments to their existing manhole covers.

Levels within Tree Root Protection Areas to remain as existing.

Ornamental, habitat & park trees

Number	Abbrev.	Species	Origin	Size	Specification	Density
6	PA	Prunus 'Amanogawa'	Cherry 'Amanogawa'	UK	tbc*	RB/C
6	Sa	Sorbus aucuparia	Mountain Ash	UK	tbc*	RB/C
3	CK	Cornus kousa	Kousa Dogwood	UK	tbc*	RB/C
3	Al	Amelanchier lamarckii	Juneberry	UK	tbc*	RB/C
3	Crn	Crataegus monogyna	Strawberry Hawthorn	UK	tbc*	RB/C
3	Al	Alder	Alder	UK	tbc*	RB/C
3	Lm	Lime	Lime	UK	tbc*	RB/C
3	Sp	Silver Birch	Silver Birch	UK	tbc*	RB/C
3	Ca	Corylus avellana	Hazelnut	UK	tbc*	RB/C
3	Tb	Taxus baccata	Yew	UK	tbc*	RB/C
3	Ms	Malus sylvestris	Crab apple	UK	tbc*	RB/C
3	Ca	Corylus avellana	Common hazel	UK	tbc*	RB/C
3	Ca	Corylus avellana	Common hazel	UK	tbc*	RB/C

A total number of 53 trees to be provided, 50 small and 3 medium size (i.e. min. 30cm DBH / 94cm girth)

Woodland tree mix (ubios)

Number	Abbrev.	Species	Origin	Size	Specification	Density
tbc	Sp	Betula pendula	Silver Birch	UK	60-80 whips	RB/C
tbc	Ac	Acer campestre	Common Maple	UK	60-80 whips	RB/C
tbc	Al	Alder	Alder	UK	60-80 whips	RB/C
tbc	Lm	Lime	Lime	UK	60-80 whips	RB/C
tbc	Ca	Corylus avellana	Common hazel	UK	60-80 whips	RB/C
tbc	Ta	Taxus baccata	Common holly	UK	60-80 whips	RB/C
tbc	Sa	Sorbus aucuparia	Mountain ash	UK	60-80 whips	RB/C
tbc	Qr	Quercus robur	English oak	UK	60-80 whips	RB/C
tbc	Cr	Crataegus monogyna	Hawthorn	UK	60-80 whips	RB/C
tbc	Tb	Taxus baccata	Yew	UK	60-80 whips	RB/C
tbc	Ms	Malus sylvestris	Crab apple	UK	60-80 whips	RB/C

Ornamental Perennials & Grasses (Sun / Half-shade)

Number	Abbrev.	Species	Origin	Size	Specification	Density
tbc	CaF	Calamagrostis acutiflora 'Karl Foerster'	UK	2L	C	9/m ²
tbc	Ms	Miscanthus sinensis 'Silberseele'	UK	2L	C	9/m ²
tbc	HMB	Helenium 'Morheim Beauty'	UK	2L	C	9/m ²
tbc	Pr	Phlox subulata	UK	2L	C	9/m ²
tbc	Soc	Salvia nemerosa 'Caradonna'	UK	2L	C	9/m ²
tbc	RFS	Rudbeckia fulgida 'Goldstrum'	UK	2L	C	9/m ²
tbc	Sm	Scilla maritima	UK	2L	C	9/m ²
tbc	Vf	Veronicastrum 'Fascination'	UK	2L	C	9/m ²
tbc	UK	Urtica dioica	UK	2L	C	9/m ²
tbc	BS	Begonia 'Silverleaf'	UK	2L	C	9/m ²
tbc	SSAJ	Scilla spectabilis 'Autumn Jay'	UK	2L	C	9/m ²
tbc	SSAM	Syrinchium oratum 'Autumn May'	UK	2L	C	9/m ²
tbc	CRVC	Centranthus ruber var. coccineus	UK	2L	C	9/m ²
tbc	VB	Verbena bonariensis	UK	2L	C	9/m ²
tbc	IRG	Iris germanica 'Queenie'	UK	2L	C	9/m ²
tbc	PBS	Perovskia 'Blue Spire'	UK	2L	C	9/m ²
tbc	TR	Traditium orchioides	UK	2L	C	9/m ²
tbc	ESZ	Eryngium planum 'Blauer Zwerg'	UK	2L	C	9/m ²

Rain Garden Planting Mix

Number	Abbrev.	Species	Origin	Size	Specification	Density
tbc	As	Asplenium scolopendrium (evergreen fern)	UK	2L	Full Pot: C	6/m ²
tbc	Am	Astrantia major (deciduous)	UK	2L	Full Pot: C	6/m ²
tbc	Ac	Astilbe chinensis 'Purpkerze'	UK	2L	Full Pot: C	6/m ²
tbc	Ac/P	Astilbe chinensis 'Purpkerze'	UK	2L	Full Pot: C	6/m ²
tbc	Da	Dryopteris affinis	UK	2L	Full Pot: C	6/m ²
tbc	Dc	Dryopteris cristata	UK	2L	Full Pot: C	6/m ²
tbc	H/H	Hosta 'Halcyon'	UK	2L	Full Pot: C	6/m ²
tbc	Ip	Iris pseudacorus	UK	2L	Full Pot: C	6/m ²
tbc	Is	Iris sibirica	UK	2L	Full Pot: C	6/m ²
tbc	Ms	Martensia struthiopteris	UK	2L	Full Pot: C	6/m ²
tbc	P/S	Panicum bistrortia 'Superba'	UK	2L	Full Pot: C	6/m ²
tbc	Py	Polypodium vulgatum	UK	2L	Full Pot: C	6/m ²
tbc	RFS/G	Rudbeckia fulgida sylvatica 'Goldstrum'	UK	2L	Full Pot: C	6/m ²

Ornamental Perennials & Grasses (Half-shade / Shade)

Number	Abbrev.	Species	Origin	Size	Specification	Density
tbc	W	Waldsteinia pinnatifida	UK	2L	C	9/m ²
tbc	Da	Dryopteris affinis	UK	2L	C	9/m ²
tbc	DDB	Dryopteris 'Golden Brilliance'	UK	2L	C	9/m ²
tbc	AHAK	Anemone hepatica 'Hadspen Abundance'	UK	2L	C	9/m ²
tbc	BS	Begonia 'Silverleaf'	UK	2L	C	9/m ²
tbc	BP	Begonia cordifolia 'Parsons'	UK	2L	C	9/m ²
tbc	GmIV	Geranium macrorrhizum 'Tangerine Variety'	UK	2L	C	9/m ²
tbc	GmS	Geranium macrorrhizum 'Spessart'	UK	2L	C	9/m ²
tbc	Ar	Astrantia maxima	UK	2L	C	9/m ²
tbc	AC	Astrantia Clare	UK	2L	C	9/m ²
tbc	AM	Astrantia Major	UK	2L	C	9/m ²
tbc	TF	Thalictrum flavum	UK	2L	C	9/m ²
tbc	RpS	Rodgersia pinnata 'Superba'	UK	2L	C	9/m ²
tbc	FRB	Franzosa 'Royal Beauty'	UK	2L	C	9/m ²
tbc	ABB	Astilbe 'Blossington Beauty'	UK	2L	C	9/m ²
tbc	Sw	Sedum waldsteinianum	UK	2L	C	9/m ²
tbc	CaF	Calamagrostis acutiflora 'Karl Foerster'	UK	2L	C	9/m ²
tbc	Al	Anemone hepatica	UK	2L	C	9/m ²
tbc	Lm	Liriodenitium	UK	2L	C	9/m ²
tbc	AB	Astrantia 'Blackleaf'	UK	2L	C	9/m ²
tbc	As	Azanthus spinosus	UK	2L	C	9/m ²
tbc	GRP	Geranium 'James of Marston'	UK	2L	C	9/m ²
tbc	GG	Geranium 'Georgenberg'	UK	2L	C	9/m ²

Specimen Ornamental Shrubs within Ornamental Grasses & Perennials (Sun)

Number	Abbrev.	Species	Origin	Size	Specification	Density
tbc	Al	Amelanchier lamarckii (Multi Stem)	UK	100-150 height	C	placed
tbc	HU	Hamelia intermedia 'Jules'	UK	10L	C	placed
tbc	CK	Cornus kousa var. chinensis (Multi Stem)	UK	10L	C	placed
tbc	VBO	Viburnum bodnantense 'Dawn'	UK	10L	C	placed
tbc	Vpk	Viburnum plicatum f. tomentosum kilmianense	UK	120-150 height	C	placed
tbc	Ms	Magolia soulangeana	UK	10L	C	placed

Specimen Ornamental Shrubs within Ornamental Grasses & Perennials (Shade)

Number	Abbrev.	Species	Origin	Size	Specification	Density
tbc	Dt	Daphne tangutica	UK	5L	C	placed
tbc	Sc	Sarcococca confusa	UK	5L	C	placed
tbc	Sj	Skimmia japonica	UK	5L	C	placed
tbc	VBO	Viburnum x bodnantense 'Dawn'	UK	5L	C	placed

Native Scrub Mix

Number	Abbrev.	Species	Origin	Size	Specification	Density
tbc	Cs	Cornus sanguinea	UK	5L	C	placed
tbc	Lo	Ligustrum vulgare	UK	5L	C	placed
tbc	Vt	Viburnum lantana	UK	5L	C	placed
tbc	Sa	Sorbus aria	UK	5L	C	placed

Hedge Mix

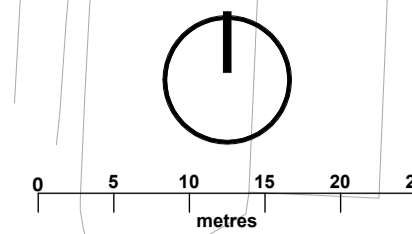
Number	Abbrev.	Species	Size	Specification	Density
tbc	Sp	Sparganium angustifolium	1.2-1.5	BR	9/m
tbc	Cr	Crataegus monogyna	1.2-1.5	BR	9/m
tbc	Ca	Corylus avellana	1.2-1.5	BR	9/m
tbc	Ac	Acer campestre	1.2-1.5	BR	9/m



Revision	Author	Issue	Date
1	AW	Issue for Review	12/07/24
2	AW	Issue for Review	24/05/24
3	AW	Issue for Review	06/05/24
4	AW	Issue for Review	24/04/24
5	AW	Issue for Review	15/04/24



Client: Willmott Dixon
Project: Marble Leisure & Community Hub
Title: Planting Strategy



Legend

Planning Boundary

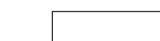


Areas

Existing Building
To be demolished



Lost Open Space
Within proposed building footprint
Area: 669.24m² / 0.066924 ha



Proposed Building Footprint



Notes:

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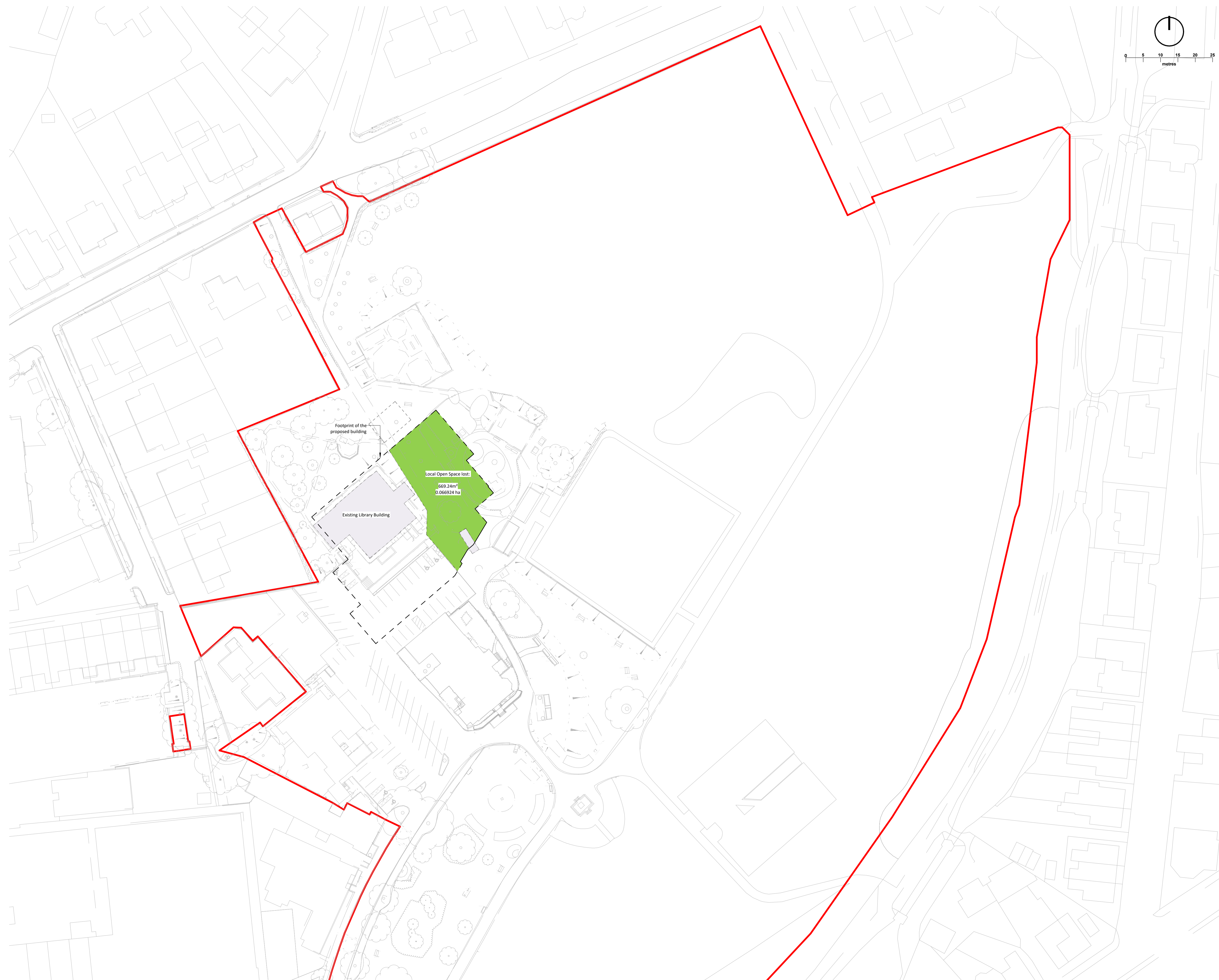
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Levels within Tree Root Protection Areas to remain as existing.



Final Stage 3 Issue	P06	BLU	BLU	26/04/24
Stage 3 Issue	P05	JPO	BLU	15/04/24
Stage 3 Issue	P04	JPO	BLU	01/03/24
Stage 3 Issue	P03	JPO	BLU	27/02/24
Issued for Information	P02	JPO	BLU	23/02/24

Revision Note	Rev.	Author	Apvrd	Date

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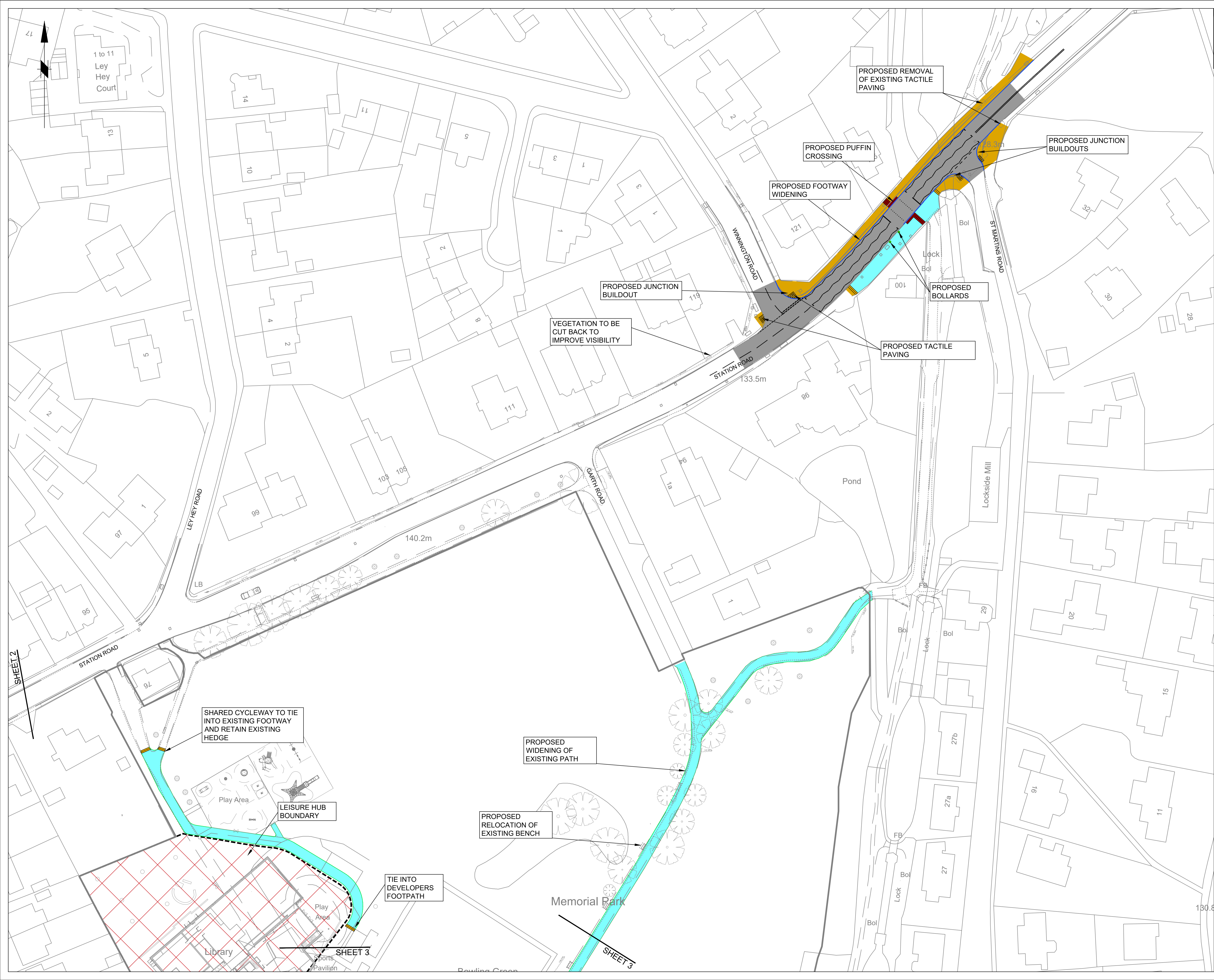
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uk

Client **Willmott Dixon**
Project **Marple Leisure & Community Hub**
Title **Open Space Plan**

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- KEY:**
- RESURFACED CARRIAGEWAY
 - RESURFACED FOOTWAY
 - NEW / RESURFACED SHARED FOOTWAY / CYCLEWAY
 - SEGREGATED CYCLEWAY
 - PROPOSED KERBLINE
 - PROPOSED EDGING KERB
 - CONTROLLED TACTILE PAVING (RED)
 - UNCONTROLLED TACTILE PAVING (BUFF)
 - RAISED TABLE
 - PROPOSED BOLLARDS



Rev.	Drawn	Checked	Date	Revision Details
B	RPO	CAS	12/7/24	FOOTWAY AMENDED AND NOTE TO RETAIN EXISTING HEDGE ADDED
A	RPO	CAS	15/5/24	AMENDED TO HIGHWAY OFFICERS COMMENTS

AMENDMENTS



MARK GLYNN
DIRECTOR OF PLACE MANAGEMENT
Job Title

MARPLE LEISURE HUB

Drawing Title
**FEASIBILITY PLAN
SHEET 1 OF 3**

Drawn	Engineer	Checked	Approved
RPO	CAS	CAS	NW
Date	Date	Date	Date
16/11/23	16/02/24	16/02/24	16/02/24
Size	Scale		
A1	1:500		
Drawing No.	F / 5194 / D / 110		Revision
			B

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KEY:

- RESURFACED CARRIAGEWAY
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- NEW / RESURFACED SHARED FOOTWAY / CYCLEWAY
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- PROPOSED KERBLINE
- PROPOSED EDGING KERB
- CONTROLLED TACTILE PAVING (RED)
- UNCONTROLLED TACTILE PAVING (BUFF)
- RAISED TABLE
- PROPOSED BOLLARDS

STOCKPORT

METROPOLITAN BOROUGH COUNCIL

HIGHWAYS AND TRANSPORTATION
STOPFORD HOUSE
STOCKPORT SK1 3XE

JOB TITLE **MARPLE LEISURE HUB**

	DRAWN RPO	ENGINEER CAS	CHECKED CAS	APPROVED NW
	DATE 16/11/23	DATE 16/02/24	DATE 16/02/24	DATE 16/02/24
	SCALE 1:500			
	DRAWING NUMBER F / 5194 / 111			Revision B
	DRAWING TITLE FEASIBILITY PLAN SHEET 2 OF 3			

Rev.	Drawn	Checked	Date	Revision Details
B	RPO	CAS	15/5/24	AMENDED TO HIGHWAY OFFICERS COMMENTS
A	RPO	CAS	16/2/24	ISLAND EXTENSION AT ASDA ENTRANCE REMOVED

