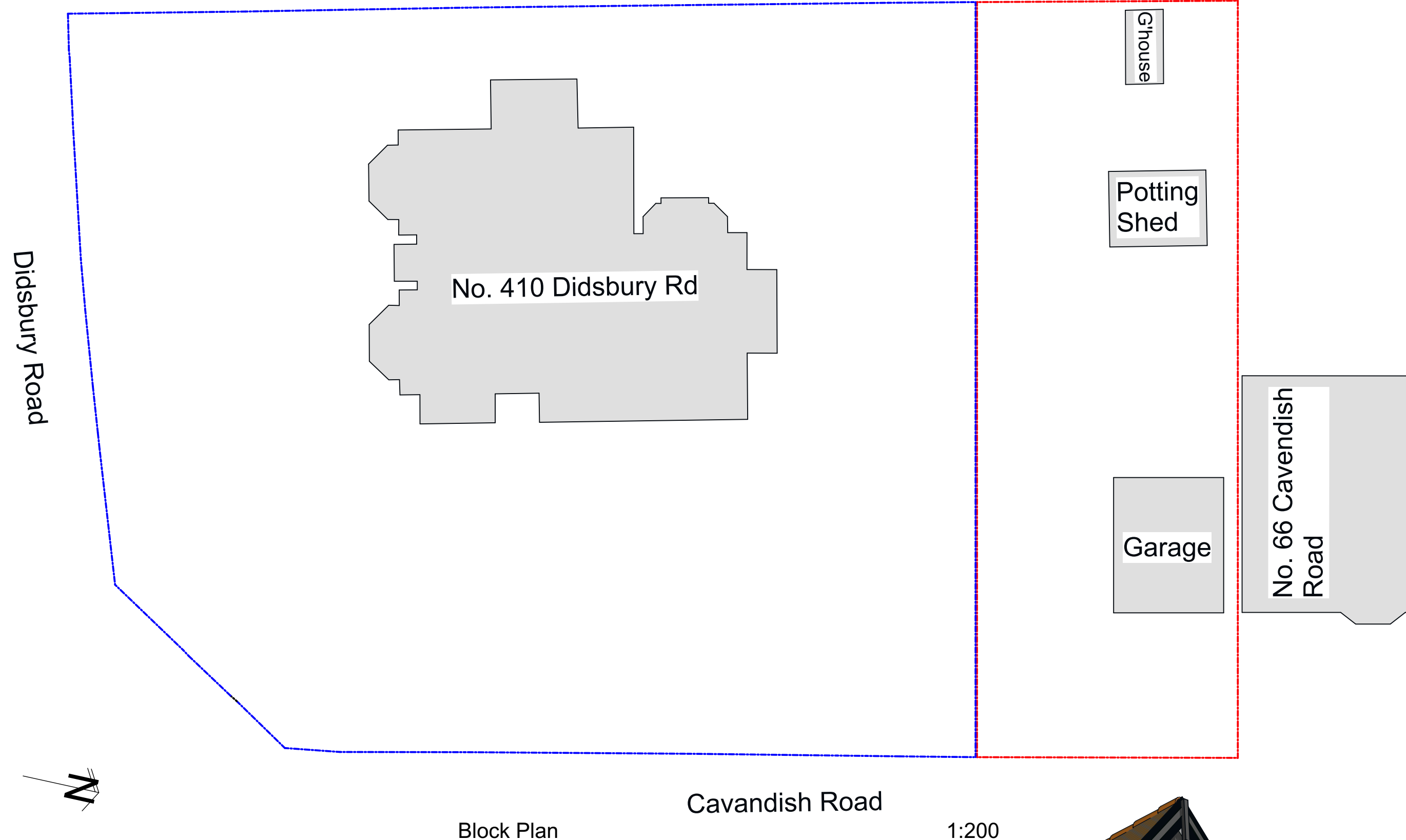
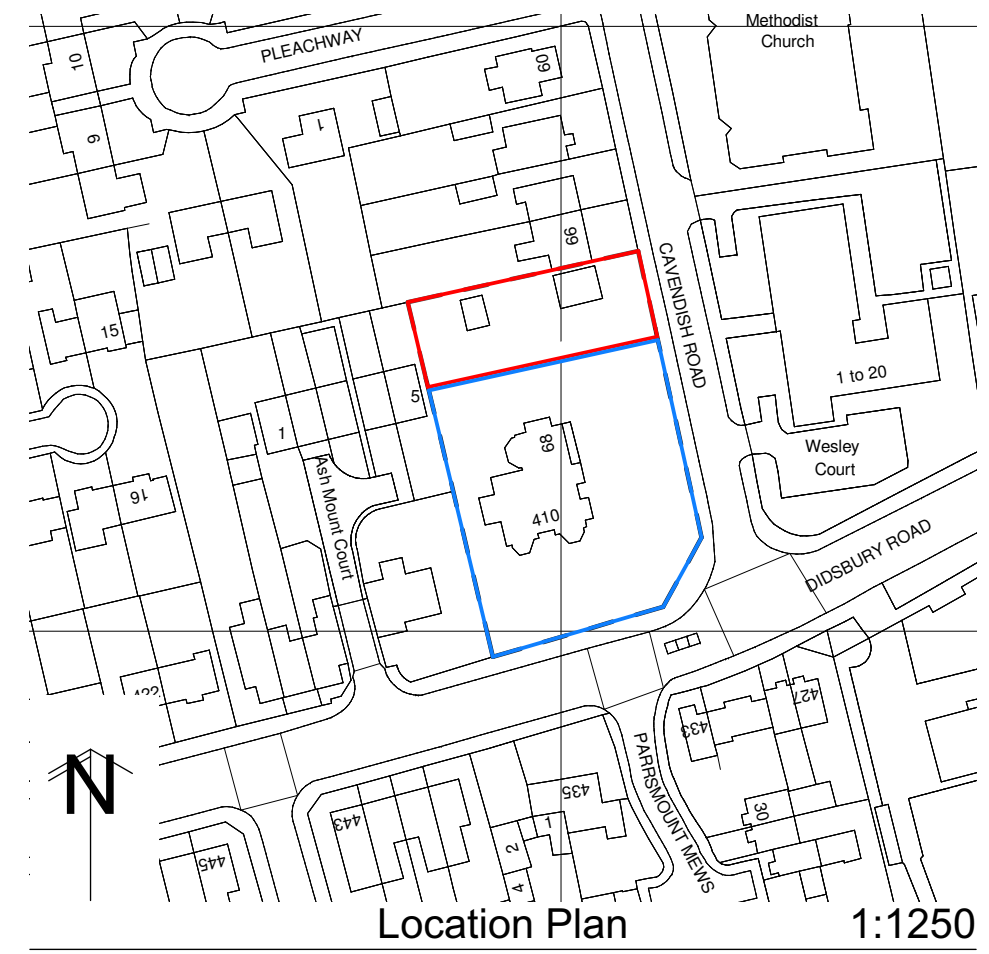


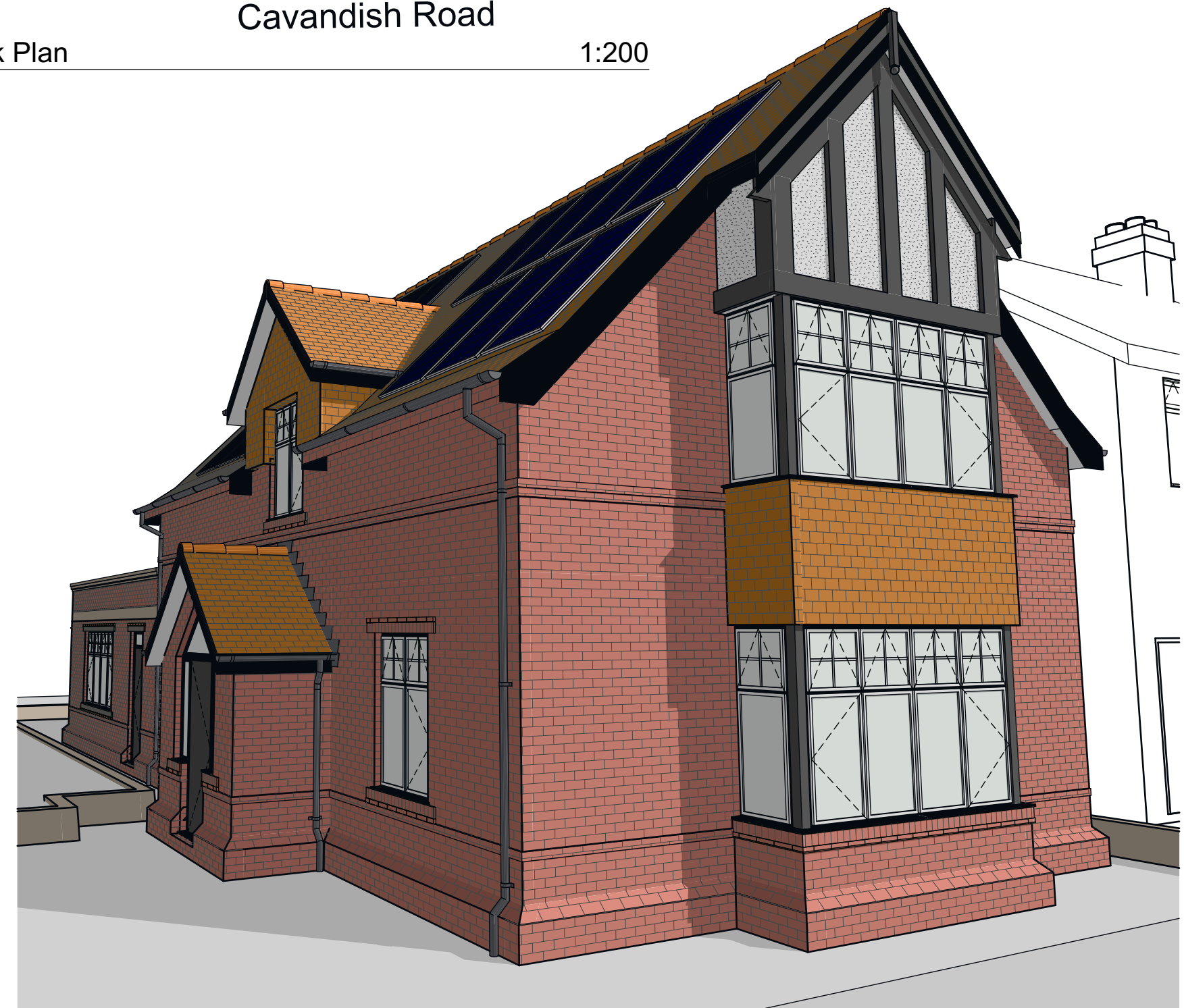
<b>Sheet Index</b>	
<b>Cover Sheet, Location &amp; Block Plan</b>	
0.01	Cover Sheet, Location & Block Plan
<b>Existing Plans &amp; Elevations</b>	
1.01	Existing Plans & Elevations
1.02	Proposed Site & Retaining Detail
<b>Proposed Plans &amp; Elevations</b>	
2.01	Proposed Floor Plans
2.02	Proposed Elevations
2.03	Proposed Street Scene Elevation



Block Plan 1:200



Location Plan 1:1250



Proposed 3d Visualisation

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Mr Mohsin & Mrs Anna Munif

Garden to the rear of  
 410 Didsbury Road  
 Stockport SK4 3BY

**New Dwelling**

Date	Change Name	Rev	ChID
02/08/23	Client changes - pre app	A	Client
17/11/23	Red line adjusted	B	LPA
22/11/23	Red line adjusted	C	LPA
08/01/23	Broken line on ele's notated	D	LPA
22/05/24	+retain +site scfm +comp ele's	E	LPA
24/05/24	+reduced level plan	F	LPA
13/06/24	+bike shed	G	Client

<b>Project Status:</b>	
Feasibility	Detailed Design
Design	Construction
Planning	As Built

Scale: As indicated @ A2  
 Sheet: 0.01  
**Cover Sheet, Location & Block Plan**

**N1279-7(P)**  
 Printed: 13/06/2024

- This drawing is for Planning and/or Building Regulations applications only and for no other use.
- All work to be carried out in accordance with the Building Regulations and all other statutory legislation to the satisfaction of the Inspecting Authority. All materials and workmanship is to comply with the appropriate codes of practice, British and/or European standards. All materials used to hold a valid Agreement Certificate for the purpose intended.
- All dimensions are in millimetres unless stated otherwise.
- The contractor MUST check all dimensions and particulars on site prior to preparing production drawings or commencement of work.
- RED LINE BOUNDARIES as shown denote the extent of the site only. They will often follow fence / wall lines and are not necessarily the legal boundary.
- PARTY WALL ACT 1996: The Client may have obligations under this act. You must tell your neighbours if you want to carry out any building work near or on your shared property boundary, or 'party wall'. Go to [www.gov.uk](http://www.gov.uk) for further advise.
- CONSTRUCTION, DESIGN AND MANAGEMENT REGULATIONS 2015: The Client has safety responsibilities for the building work and he has an obligation to check his full responsibilities under these regulations, go to [www.hse.gov.uk](http://www.hse.gov.uk) for further information.

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G'house

Potting Shed

Garage

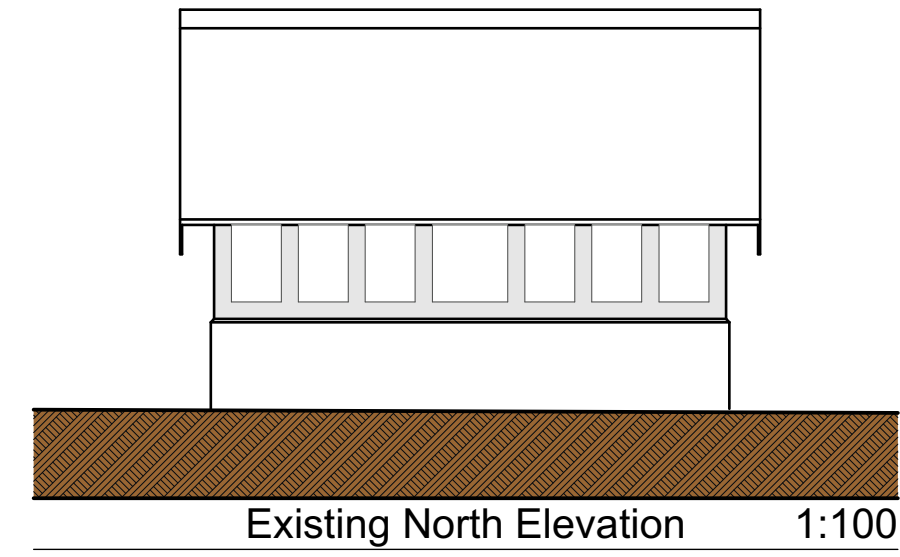
No. 66 Cavendish Road



Existing South Elevation 1:100



Existing East Elevation 1:100



Existing North Elevation 1:100



Existing West Elevation 1:100

Existing Garage Elevations

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New Dwelling

Date	Change Name	ChID	Rev
02/08/23	Client changes - pre app	Client	A
17/11/23	Red line adjusted	LPA	B
22/11/23	Red line adjusted	LPA	C
09/01/23	Broken line on ele's notated	LPA	D
22/05/24	+retain +site scin +comp ele's	LPA	E
24/05/24	+reduced level plan	LPA	F
13/06/24	+bike shed	Client	G

Project Status:

Feasibility	Detailed Design
Design	Construction
▶ Planning	As Built

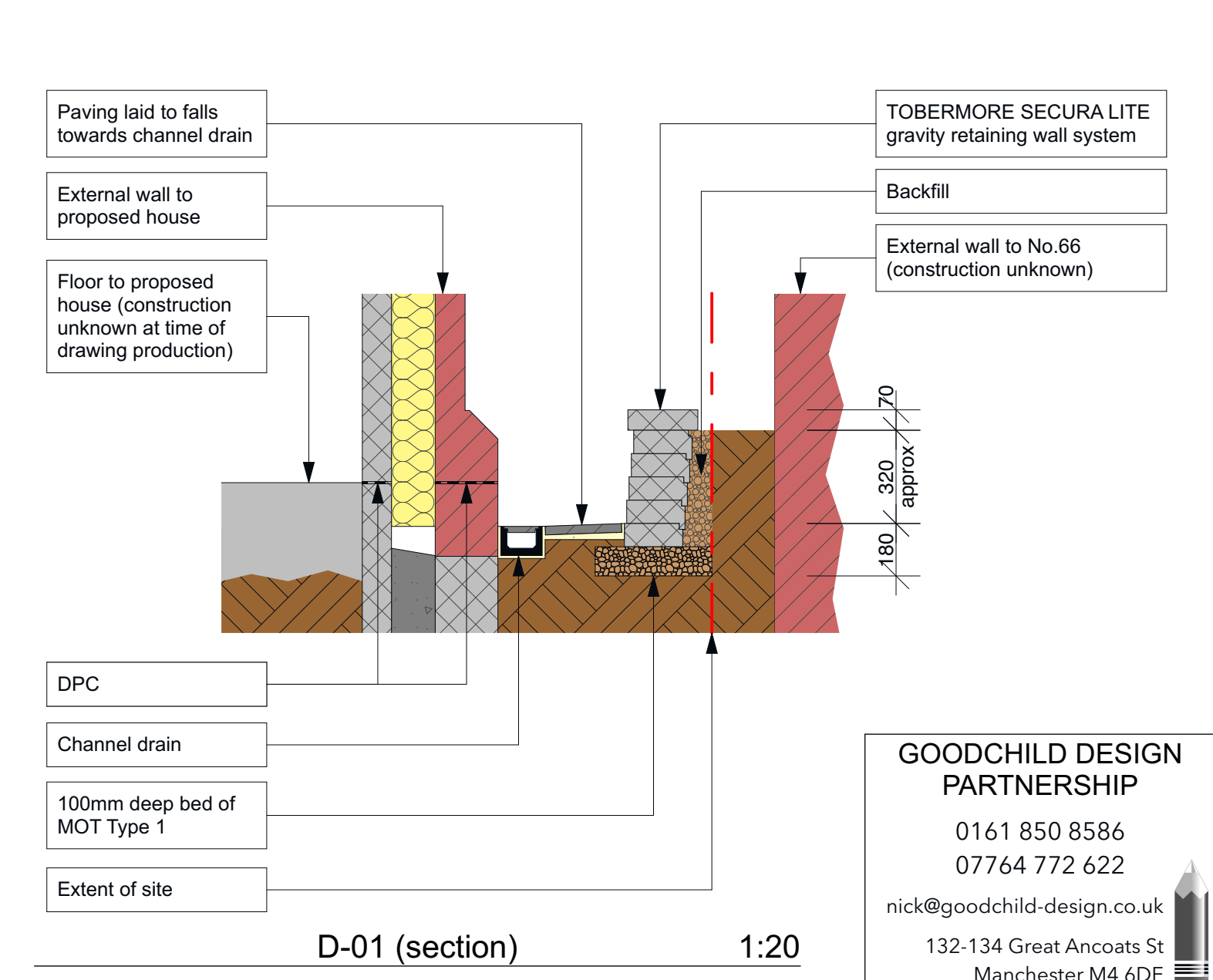
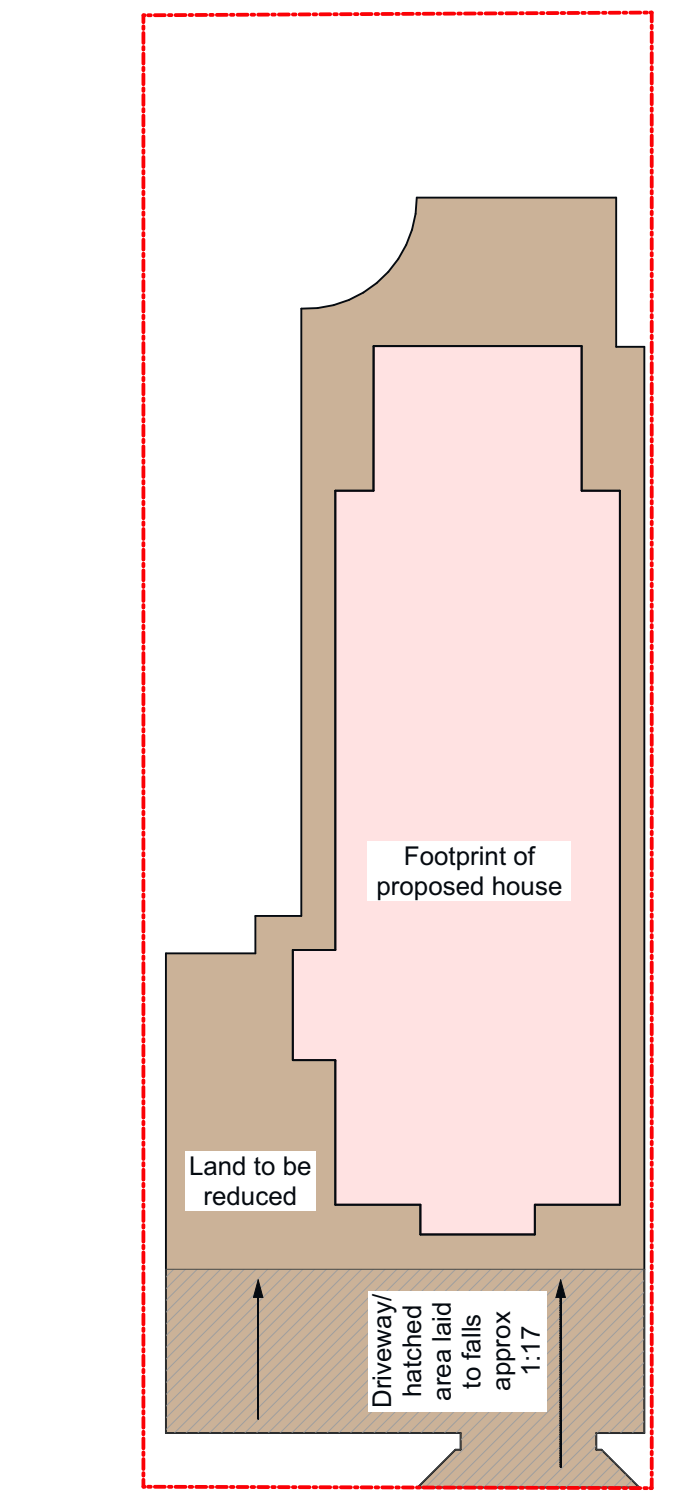
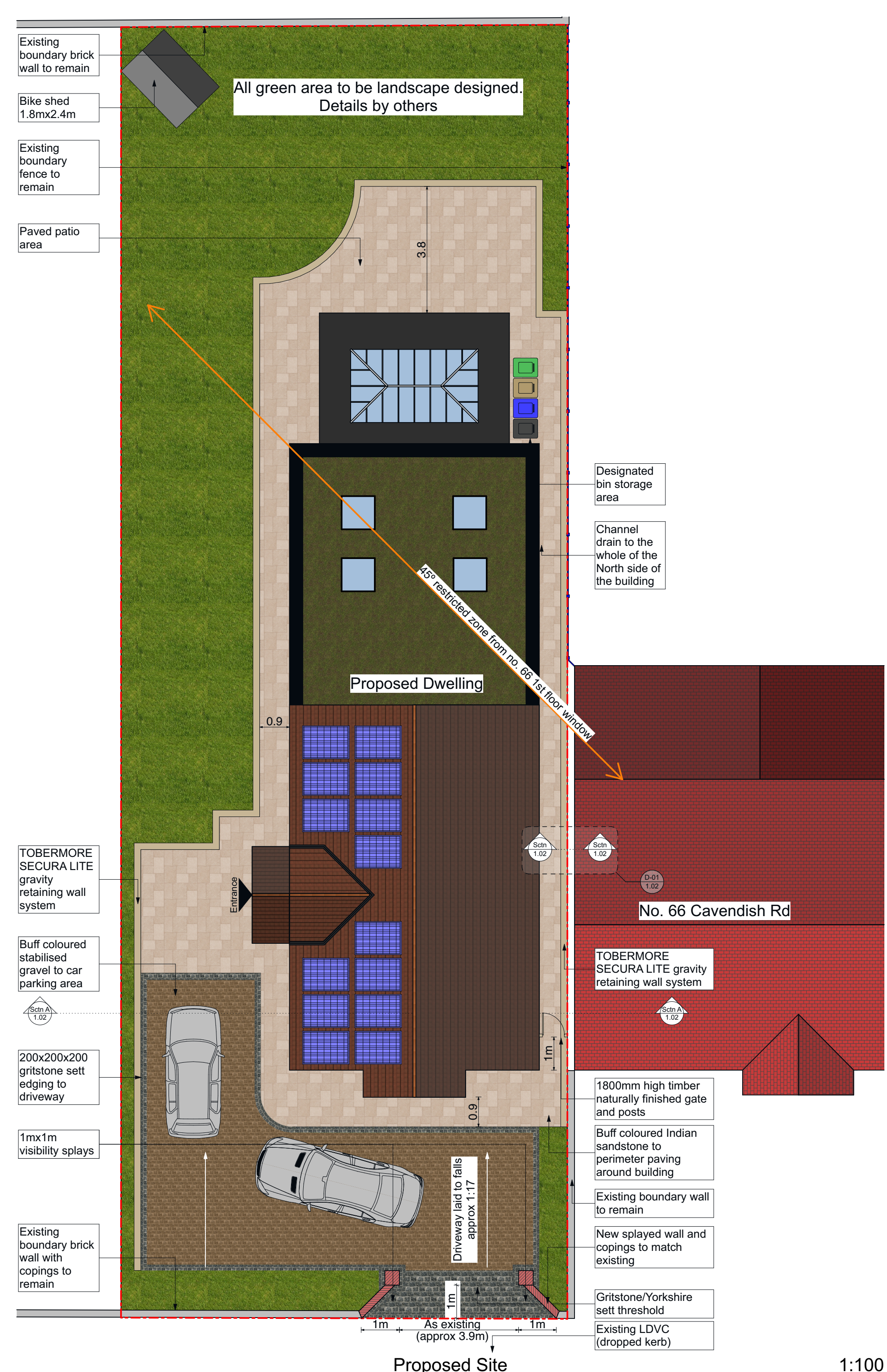
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Existing Plans & Elevations

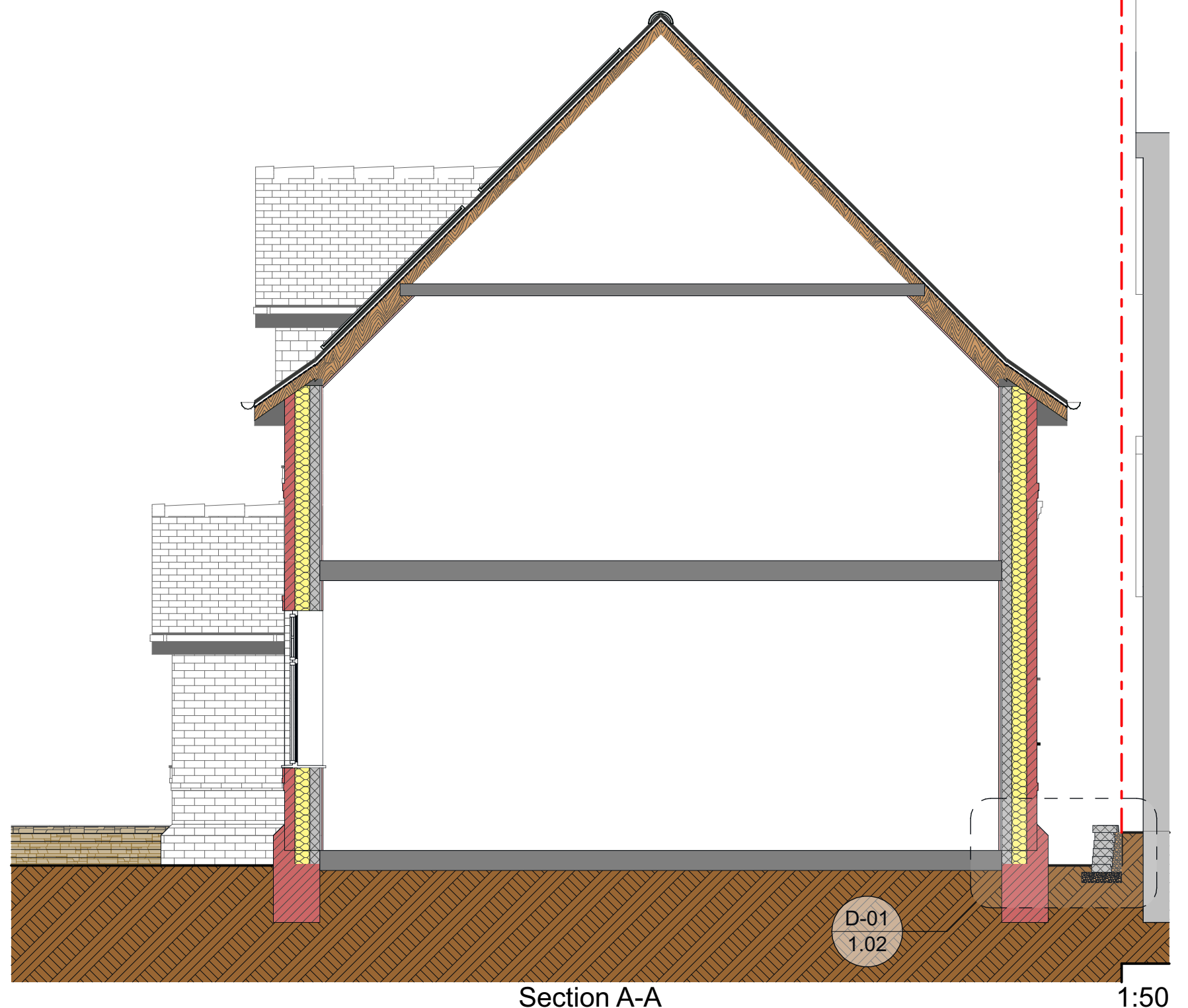
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Reduced Level Excavation 1:200



Section A-A 1:50

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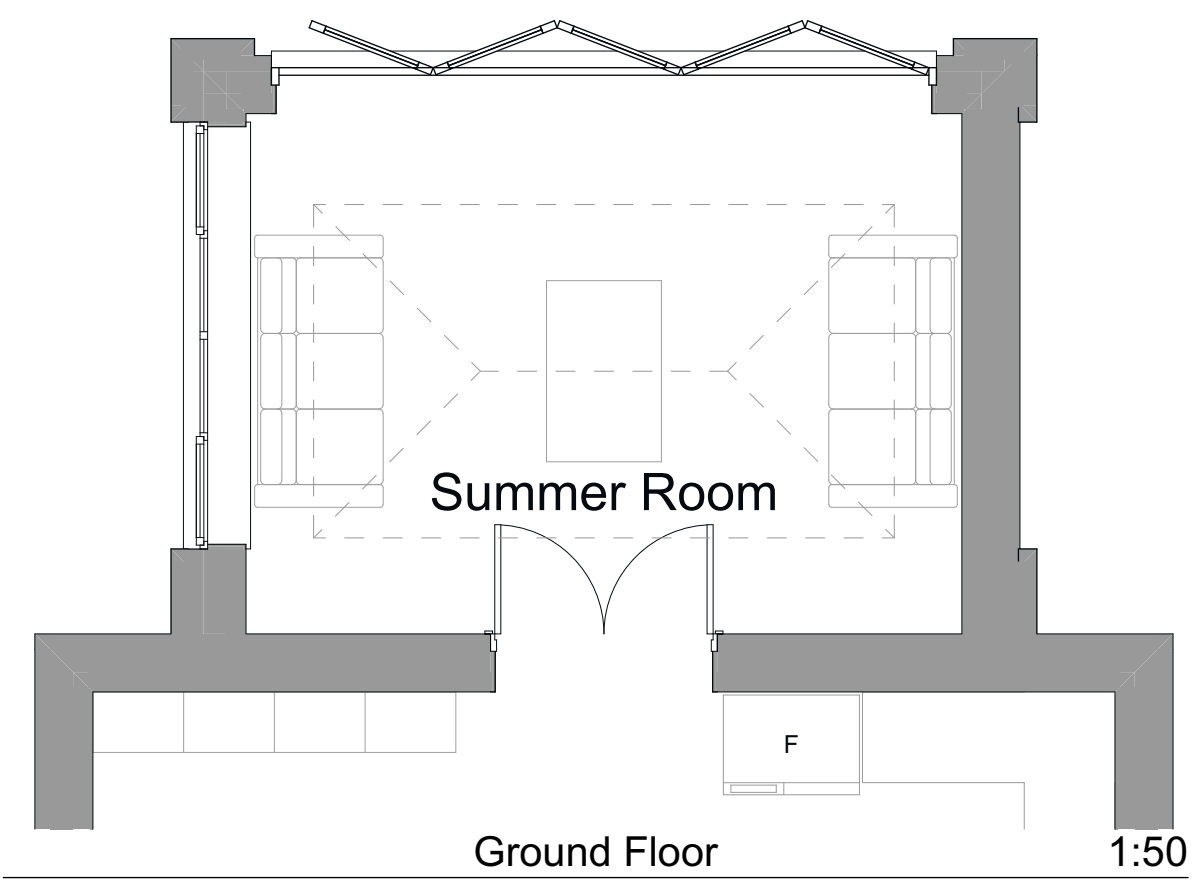
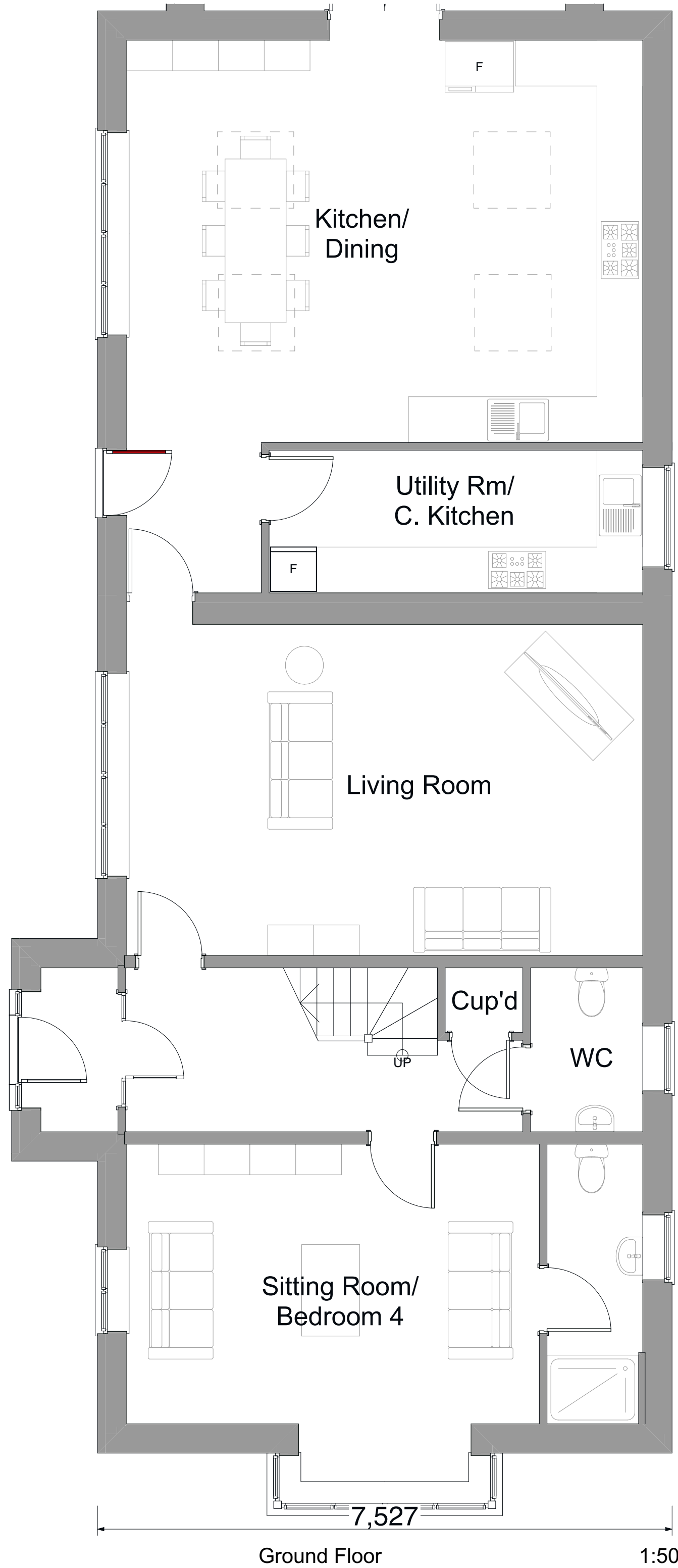
**New Dwelling**

Rev	ChID	Change Name
A	Client	Client changes - pre app
B	LPA	Red line adjusted
C	LPA	Red line adjusted
D	LPA	Broken line on ele's notated
E	LPA	+retain +site scin +comp ele's
F	LPA	+reduced level plan
G	Client	+bike shed

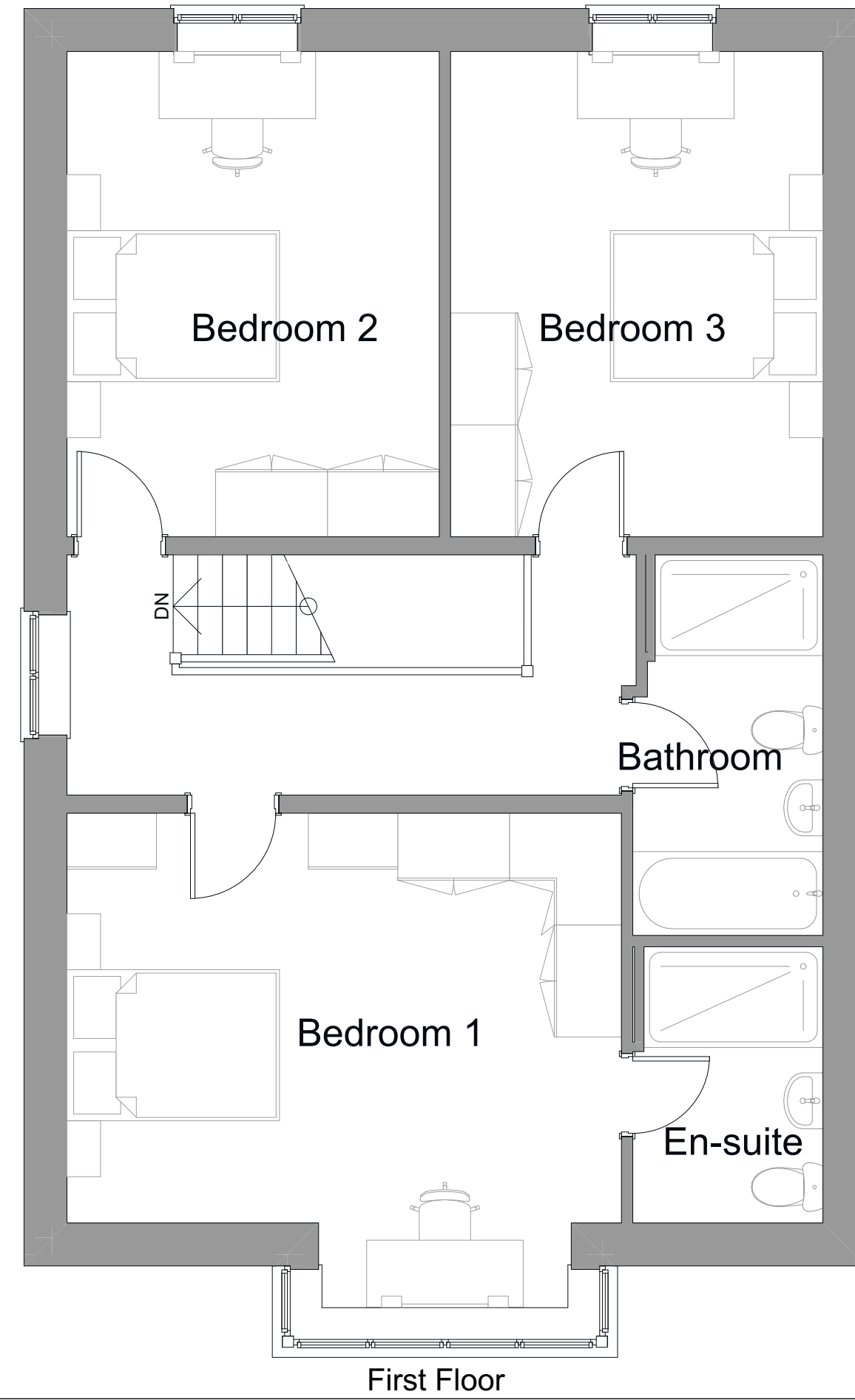
Date: 02/08/23  
 17/11/23  
 22/11/23  
 08/01/23  
 22/05/24  
 24/05/24  
 13/06/24

Project Status:  
 Feasibility  
 Design  
 Planning  
 Scale: As indicated @ A2  
 Sheet: 1.02  
**Proposed Site & Retaining Detail**  
**N1279-7(P)**  
 Printed: 13/06/2024





45 deg restricted zone from no.66



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Mr Mohsin & Mrs Anna Munif

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**New Dwelling**

Rev:

Rev	A	B	C	D	E	F	G
ChID	Client	LPA	LPA	LPA	LPA	LPA	Client
Date	02/08/23	17/11/23	22/11/23	08/01/23	22/05/24	24/05/24	13/06/24
Change Name	Client changes - pre app	Red line adjusted	Red line adjusted	Broken line on ele's notated	+retain +site scin +comp ele's	+reduced level plan	+bike shed

Project Status:

Feasibility	Detailed Design
Design	Construction
Planning	As Built

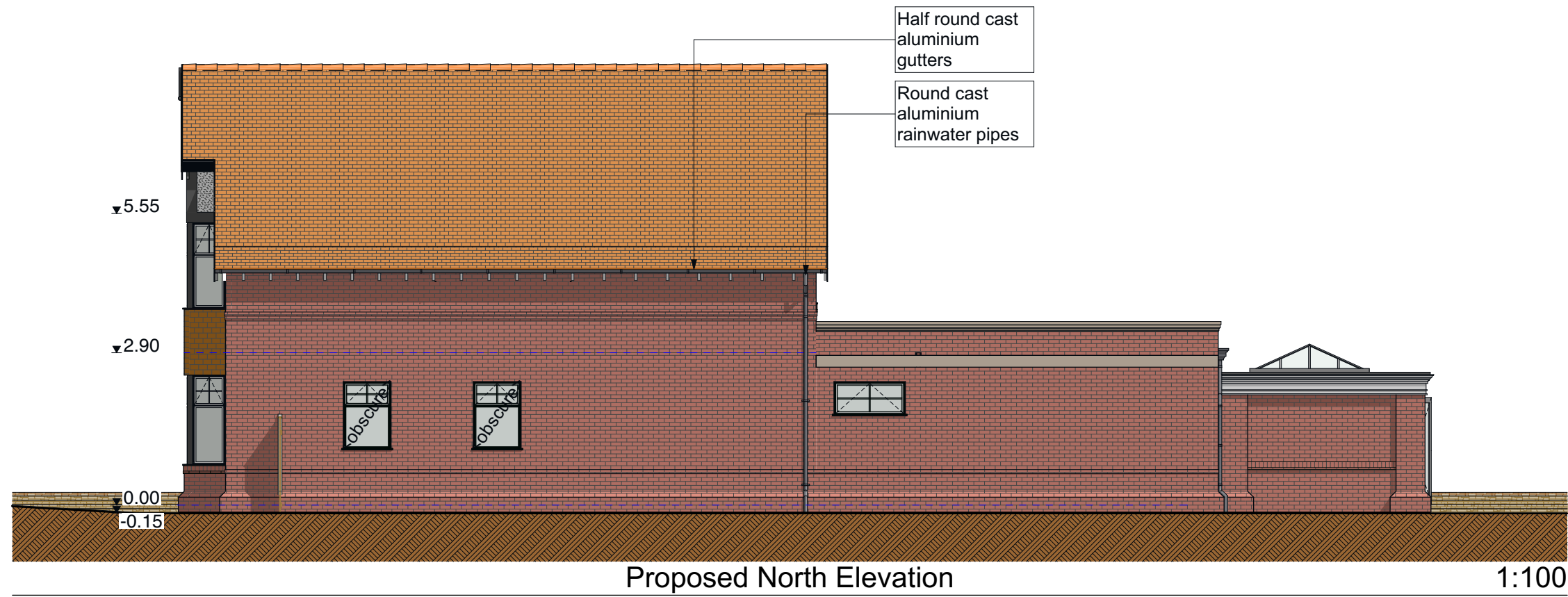
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Sheet: 2.01

**Proposed Floor Plans**

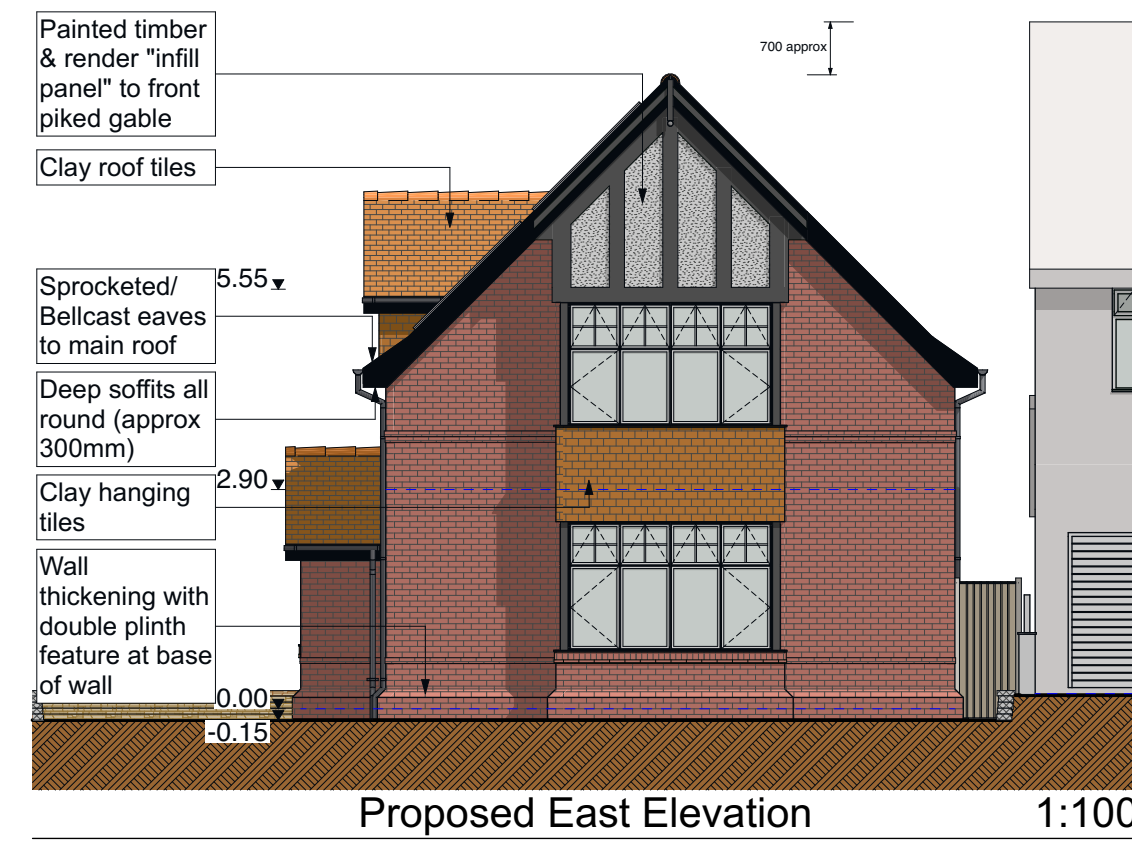
**N1279-7(P)**  
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Proposed North Elevation

1:100



Proposed East Elevation

1:100



Proposed South Elevation

1:100



Proposed West Elevation

1:100

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Garden to the rear of  
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Stockport SK4 3BY

**New Dwelling**

Rev:

ChID	Rev	A	B	C	D	E	F	G
Client								
LPA								
LPA								
LPA								
LPA								
LPA								
Client								

Project Status:

Feasibility	Detailed Design
Design	Construction
Planning	As Built

Scale:

As indicated @ A2

Sheet: 2.02

Proposed Elevations

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Proposed Street Scene

1:50

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**New Dwelling**

Rev:

Date	Change Name	ChID	Rev
02/08/23	Client changes - pre app	Client	<b>A</b>
17/11/23	Red line adjusted	LPA	<b>B</b>
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22/05/24	+retain +site scin +comp ele's	LPA	<b>E</b>
24/05/24	+reduced level plan	LPA	<b>F</b>
13/06/24	+bike shed	Client	<b>G</b>

Project Status:

Feasibility	Detailed Design
Design	Construction
<b>Planning</b>	As Built

Scale:

As indicated @ A2

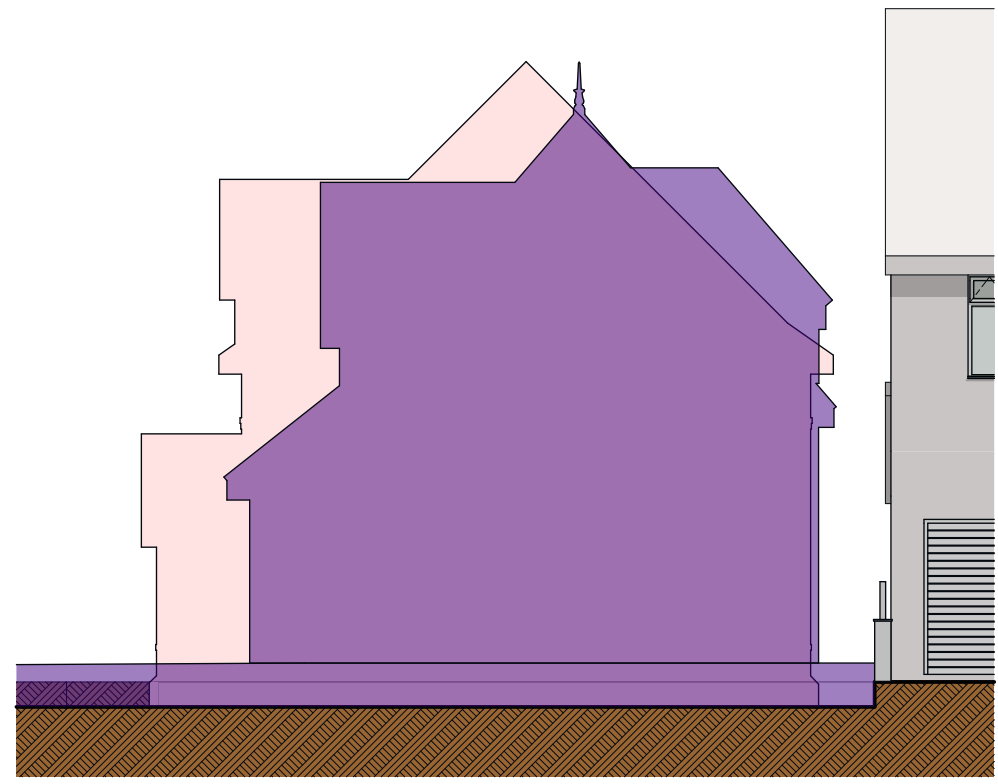
Sheet: 2.03  
**Proposed Street Scene Elevation**

**N1279-7(P)**

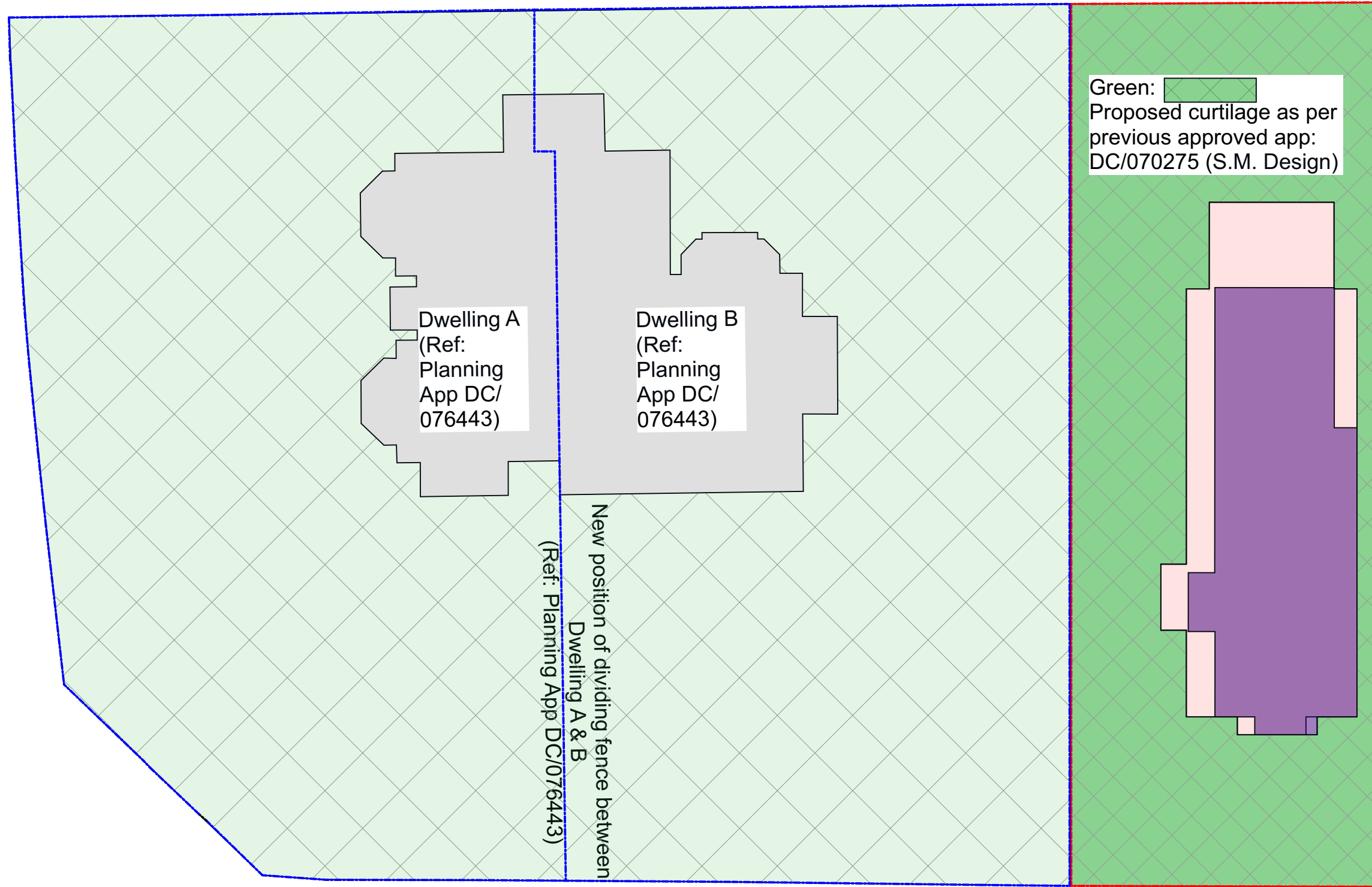
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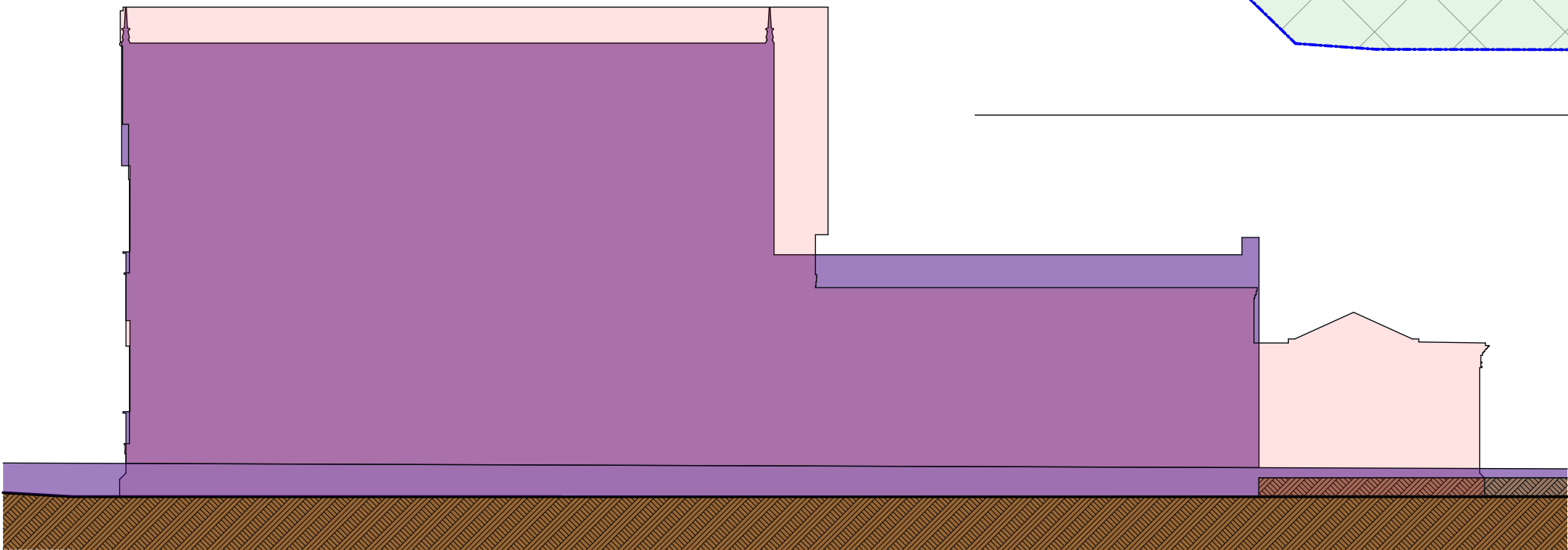
East Elevation 1:100



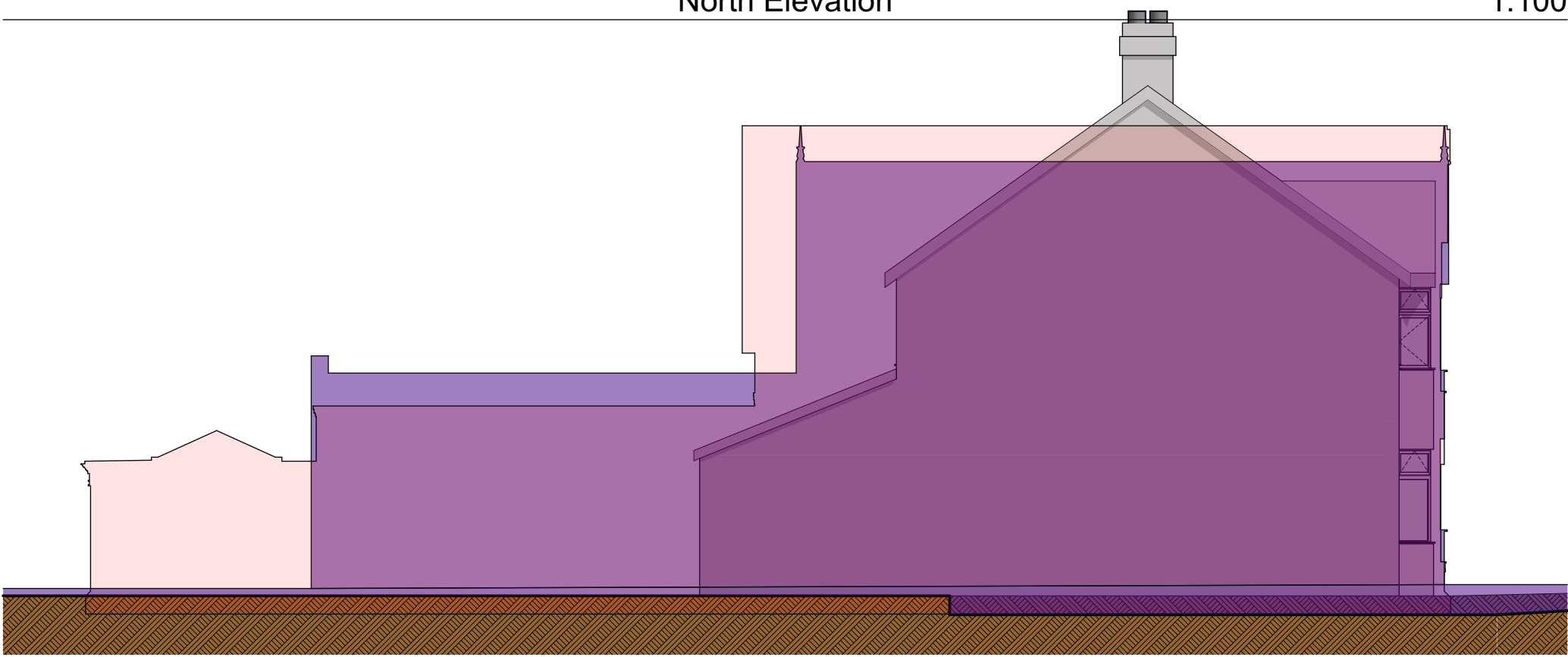
Footprints 1:200

Pink:  Proposed new dwelling.

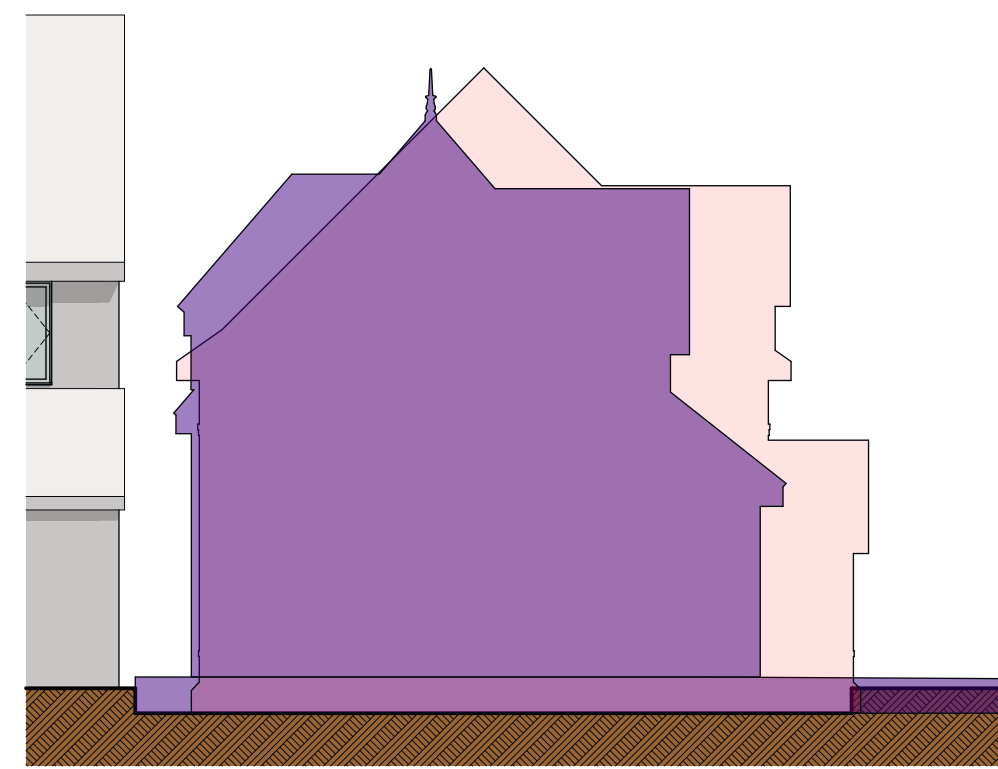
Purple:  Previously approved dwelling. App: DC/070275 (S.M. Design)



North Elevation 1:100



South Elevation 1:100



West Elevation 1:100

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**New Dwelling**

Date	Change Name	Rev	ChID
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17/11/23	Red line adjusted	B	LPA
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22/05/24	+retain +site scfn +comp ele's	E	LPA
24/05/24	+reduced level plan	F	LPA
13/06/24	+bike shed	G	Client

Project Status:	
Feasibility	Detailed Design
Design	Construction
Planning	As Built

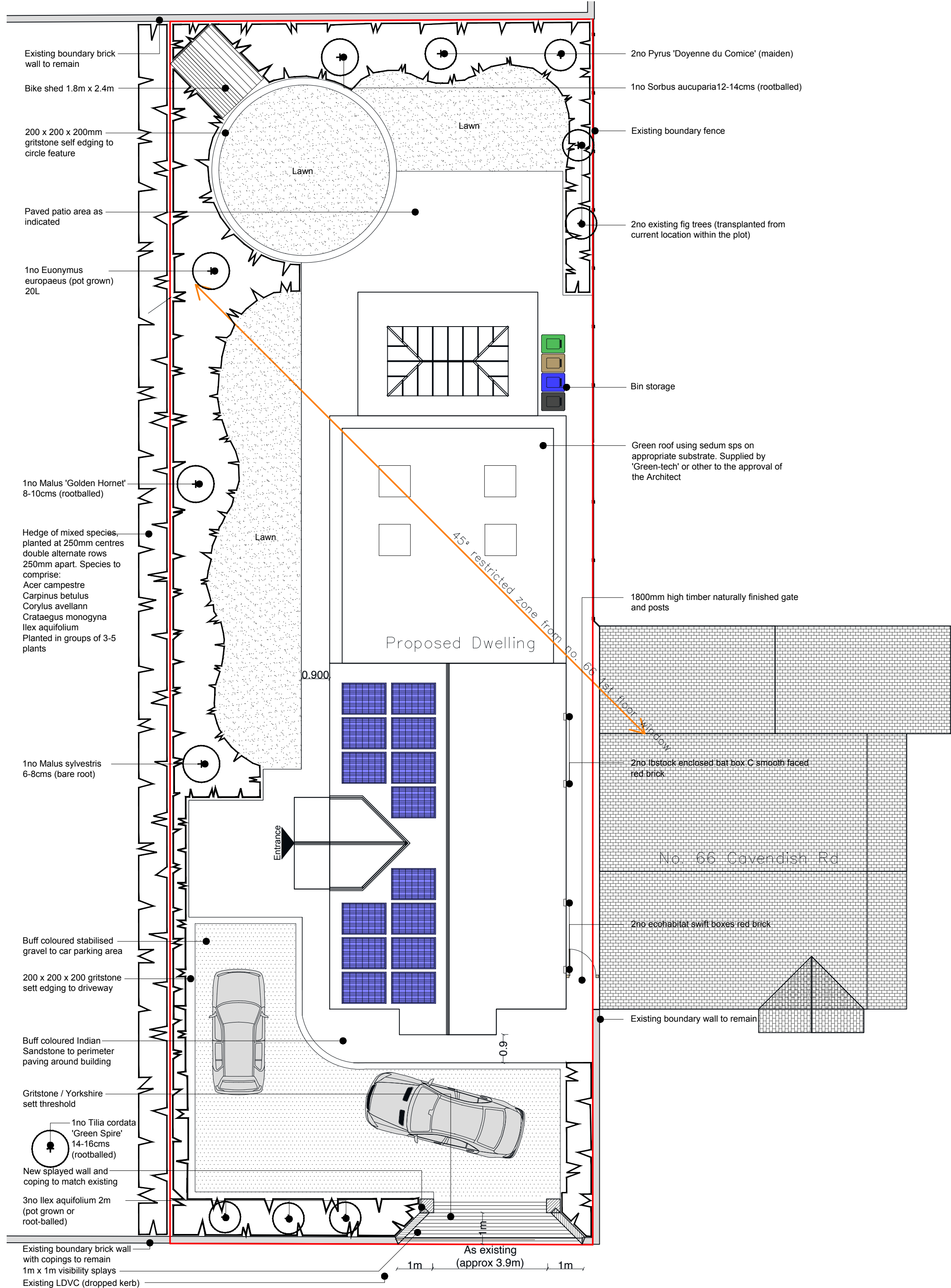
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Sheet: 2.04  
Relationship to Previously Approved Applications

**N1279-7(P)**

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Rev A. 11/06/2024  
 'Green' sedum roof added.  
 Planting schedule amended to increase biodiversity.  
 Bat & swift bricks added to shaded areas of the building  
 Bike shed added



**AGATHOCLIS  
 BECKMANN**  
 Landscape Architects  
 Onion Farm  
 Warburton Lane  
 Lymm, Cheshire  
 WA 13 9TW  
 Tel: 01925 75 3403

Land adjacent to 410 Didsbury Road  
 Mr M & Mrs A Munif

## Landscape Plan

PB	1:100 @ A2	
	Rev A	846 / 01 / 02

**PLANT SCHEDULE**

Client: Mr M. and Mrs A Munif  
 Project: New house and garden  
 Location: 410, Didsbury Road, Stockport  
 Schedule name: **240611 410, Didsbury Road**  
 Drawing ref.: 84/01/02  
 Revision: A

Date: 11/06/24  
 Created by: Paul Beckmann  
 Schedule no.:

Abbrev.	Botanical Name	Common Name	Girth/ Dia. cm	Height cm	Root Zone	Specification	Number
E e	Euonymus europaeus	Common Spindle Tree		150-175	20L	Branched; 8 brks	1
I a	Ilex aquifolium	Common Holly		200-250	70-90L	Leader with laterals	3
M 'G H'	Malus 'Golden Hornet'	Crab Apple 'Golden Hornet'	8-10	250-300	RB	2x; Std; clear stem 175-200cm; 3 brks	1
M sy	Malus sylvestris	Common Crab Apple	6-8	250-300	B	2x; LS; clear stem 150-175cm; 3 brks	1
P com	Pyrus 'Doyenne du Comice'	Pear 'Doyenne du Comice'		125-150	10-20L	2 years; Bush; Quince 'C' rootstock; 2-3 tiers	2
S auc 'E'	Sorbus aucuparia 'Edulis'	Rowan 'Edulis'	12-14	350-425	RB	3x; HS; clear stem 175-200cm; 5 brks	1
T co 'G'	Tilia cordata 'Greenspire'	Small-leaved Lime 'Greenspire'	14-16	400-450	RB	3x; EHS; clear stem 175-200cm; 5 brks	1

Abbrev.	Botanical Name	Common Name	Girth/ Dia. cm	Height cm	Root Zone	Specification	Number
A ca	Acer campestre	Common Maple		80-100	B	1+1; Transplant - seed raised	30
C be	Carpinus betulus	Common Hornbeam		80-100	B	1+1; Transplant - seed raised	30
C av	Corylus avellana	Common Hazel		60-80	B	1+2; Transplant - seed raised; branched; 3 brks	60
C mon	Crataegus monogyna	Common Hawthorn		80-100	B	1+2; Transplant - seed raised	113
I a	Ilex aquifolium	Common Holly		60-80	3L	Leader with laterals	35

**KEY:**

- B = Bare-rooted and bagged
- brk = Minimum number of breaks or shoots
- L = Container size in litres
- RB = Root-balled
- 1+1 = 2 year seedling transplanted after the first year
- 1+2 = 3 year seedling transplanted after the first year
- 2x = Number of times transplanted e.g. twice
- LS = Light Standard
- Std = Standard
- HS = Heavy Standard
- EHS = Extra Heavy Standard