



NORTH ELEVATION AS PROPOSED



SOUTH ELEVATION AS PROPOSED

STAIRS
Stairs to Part K of the Current Building Regulations.
Riser 182mm Gearing 250mm Pitch 42 degrees
Handrails to be minimum 900mm above nosings, 1100mm above landing levels, minimum 2 metres clear headroom above nosings. Timber stairs 25mm softwood treads, 19mm WBP risers, 25mm softwood string minimum 900mm clear covering between string and handrail, under draw depth of stairs is 200mm layers of the fire board or similar approved. Stairs by specialist supplier to be in accordance with manufacturer's recommendations and details. Minimum 90mm spacings between vertical balustrades, 90mm spacing between bottom rail of balustrade and stringing.
Balustrade should be able to resist a horizontal force of 0.20kN per metre. Any stair winders to be formed in three tapered steps with a minimum 50mm tread at the newel post. Staircases to have a minimum headroom of 2000mm clear.
Stairs to conform to part K of the current building regulations and ambient disabled standards.
Nosings to have contrasting color painted full width of treads min 50mm wide.
Handrails min 900mm above nosings, 1100mm above landings.
Purpose made prefabricated timber staircase with closed treads, designed in accordance with BS 5395 Manufacturer to check dimensions prior to fabrication.

GUARDING TO STAIRCASE / LANDING VOID
Provide handrail 900mm above nosing line to staircase together with 900mm minimum high guarding as required Provide 1100mm high balustrade and guarding to staircases and landings.
All balustrades to be vertical and be so constructed to give 90mm maximum gap between any balustrades in open balustrades. Guarding to withstand 0.20kN/m horizontal force Balustrades to be warm to the touch.

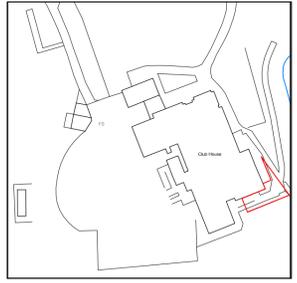


EAST ELEVATION AS PROPOSED

Balustrading extended to match existing



LOCATION PLAN
scale 1: 1250

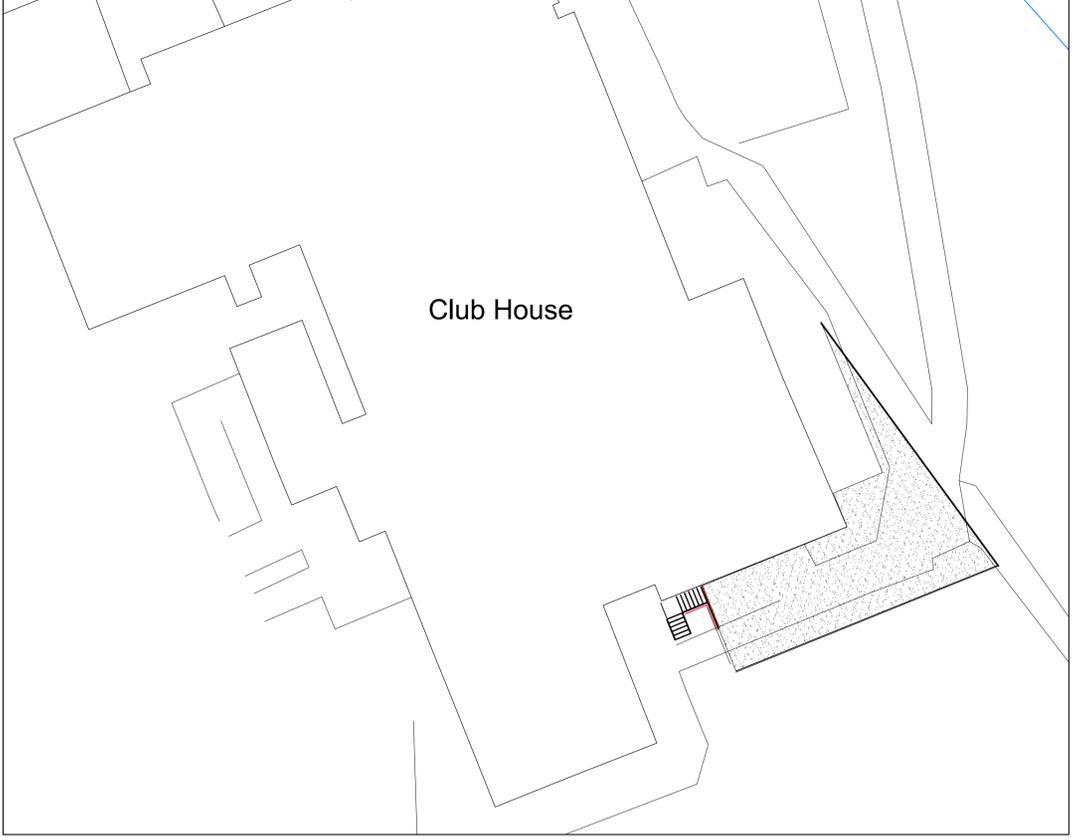


NOTES:
(WHERE APPLICABLE - ALL DIMENSIONS TO BE CHECKED ON SITE)
This specification and all other drawings to be checked and verified by the contractor prior to work commencing on site. This drawing is not to be used for construction purposes unless approved by the Local Authority. This drawing has been prepared to comply with the current Building Regulations June 2006. Extension to be built in accordance with the Robust Construction Details as produced by the DTLE.

Specification
The intention of the drawing and specification is not to detail every aspect and or item of material to be used. It is expected that the contractor shall have the necessary experience and knowledge to undertake the works as detailed in this drawing/specification. Where discrepancies occur between the drawing and specification the drawing shall prevail in the absence of the client prior to submission of the quote. Where this is not the case it shall be deemed that the works identified or inferred by the drawing and specification are included within the overall price submitted by the contractor. Where details are shown on the plan but not indicated in this specification or vice versa it shall be concluded that the contractor has provided for the works in their entirety.
The contractor shall allow for the provision of a scaffold to be erected to the side elevation to allow materials to be moved to the work area with a minimum of disturbance to the main house. The contractor shall protect all existing fittings, furnishings, decorations etc and shall ensure that dust and disturbance is kept to a minimum for the duration of the works.

General Details
1) All exposed timber to be treated with preservative prior to fixing.
2) All drains to be connected to existing invert levels and laid to proper falls. New drainage to be 100mm pipes conforming to BS 8301 and manufacturer's recommendations. Where a drain passes through or under a load-bearing wall, a RC chisel to be provided. All drainage runs are assumed linear, the correct position of existing drainage to be confirmed on site.
3) All services/water installations etc. to be extended/repositioned or provided as necessary in conjunction with statutory undertakers requirements. (It is recommended that consultation takes place with all relevant statutory undertakers prior to commencement).
4) All timber to be SC3 unless stated with preservative treatment.
5) All RSL's to be bolted to concrete piers and encased in 30 minutes fire resistant Fireline board.

GENERAL NOTES
All materials and construction works are to comply with the current BS standards and codes of practice. Building regulations and schedules and specifications.
All materials and proprietary goods shall be suitable to their purpose and shall be stored mixed and fixed in accordance with their suppliers / manufacturers instructions or specifications.
The contractor shall take account of everything necessary for the proper execution of the works to the satisfaction of the inspector, whether or not indicated on the drawings.
Any variations from the drawings carried out without the Architects written agreement shall be the responsibility of the contractor.
The Architect has not been appointed to carry out inspections during the construction of the project and responsibility for standards of construction rests with the contractor / developer.
The contractor is to comply in all respects with the current Building Regulations whether or not specifically stated on these drawings.
The drawing must be read with and checked against any structural or specialist drawings provided.
No dimensions are to be scaled from this drawing. All dimensions to be checked before work commences and any discrepancy to be reported to client.
Before work commences - ensure all Planning conditions and Building Regulation conditions have been received to the satisfaction of the Local Authority.
All works to comply with the workmanship clauses in BS8000 series and to be in full compliance with the Building Regulations.
Contractor is to notify Building Control at the appropriate stages in construction - necessary for them to determine the works statutory compliance.
Should the indicated thermal elements construction (walls / floors / ceilings / roofs / windows / doors) below be achieved at the construction stage - contractor is to seek approval from Building Control prior to construction and is to be responsible for achieving the indicated minimum U' values for each element.
Contractor shall allow for the provision of all building access equipment and facilities and must comply with all health and safety legislation, including safe working at heights.
Contractor shall remove all rubbish from site during the course of the building operations.
Contractor is to protect all existing fittings, furnishings, decorations etc and shall ensure that dust and disturbance is kept to a minimum for the works duration.



Club House

SITE PLAN
scale 1: 200

ALL DIMENSIONS TO BE CHECKED ON SITE
PRIOR TO ORDERING OR ERECTING MATERIALS
DO NOT SCALE.

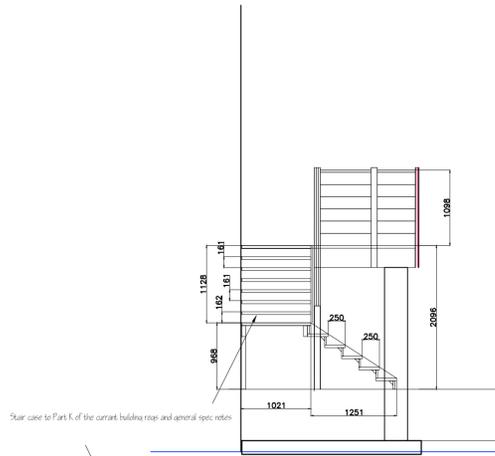


Drawing Title
PROPOSED EXT. TO EXISTING VERANDA

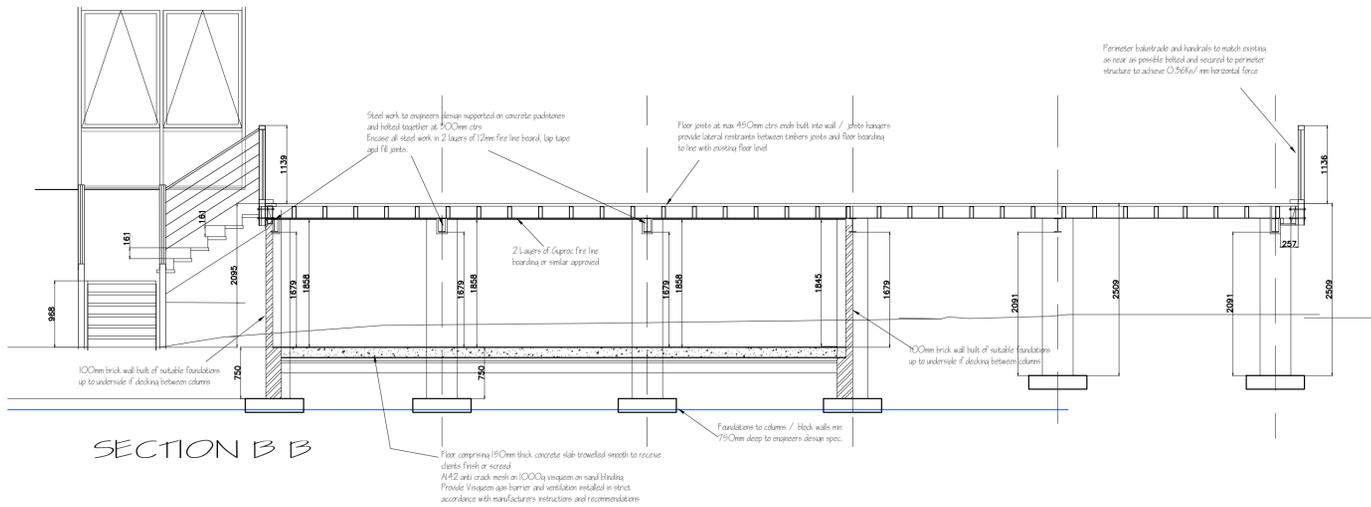
Project Title
BRAMHALL GOLF CLUB
LADYTHORN LANE, BRAMHALL
STOCKPORT, SK7 2EY

REV.	DRG NO.
DATE	SCALE
NOV 2023	1:100, 2:100, 250 @ A1

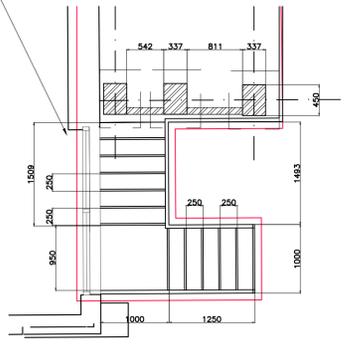




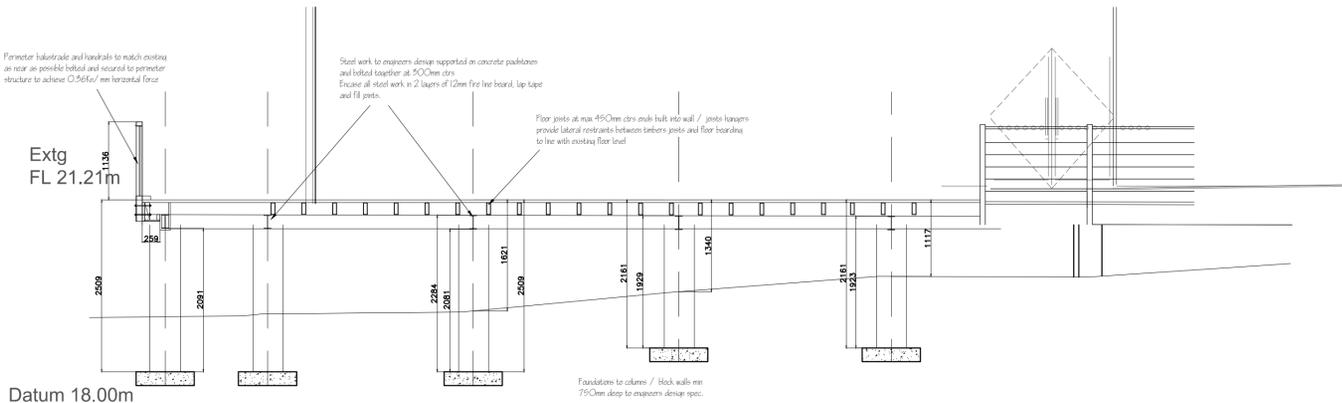
SECTION A A



SECTION B B

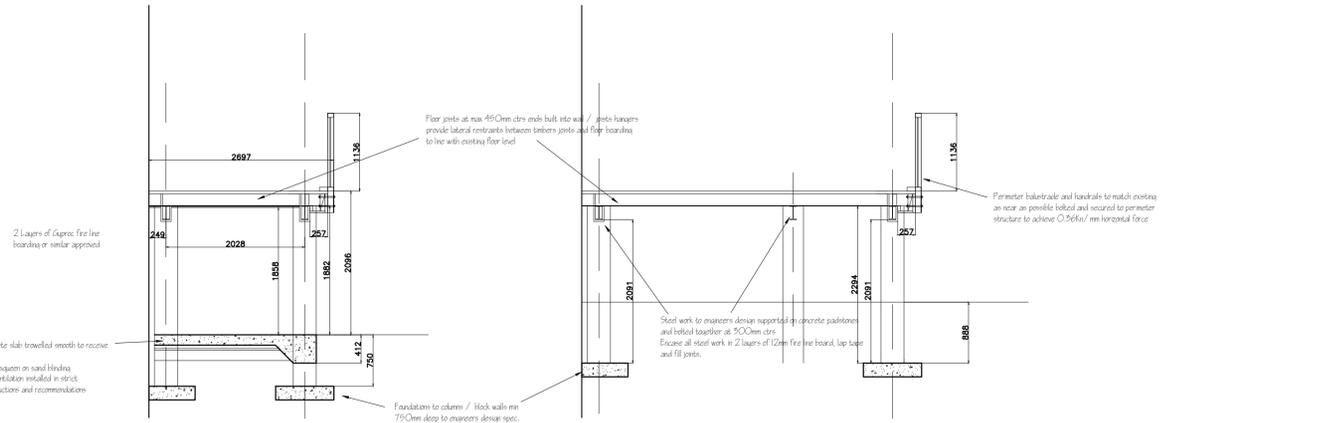


STAIR PLAN



SECTION C C

STAIRS
Stairs to Part K of the Current Building Regulations.
Rise 162mm Gearing 250mm Pitch 42 degrees
Handrails to be minimum 900mm above nosings, 1100mm above landing levels, minimum 2 metres clear headroom above nosings. Timber stairs 25mm softwood treads, 19mm WBP risers, 25mm softwood string minimum 900mm clear opening between string and handrail, under draw soffit of stairs in 2x25mm layers of fire line board or similar approved. Stairs by specialist supplier to be in accordance with manufacturer's recommendations and details. Minimum 90mm spacings between vertical balustrades, 90mm spacing between bottom rail of balustrade and string/roving.
Balustrade should be able to resist a horizontal force of 0.36kN per metre. Any stair winders to be formed in three tapered steps with a minimum 50mm tread at the narrowest point. Balustrades to have a minimum headroom of 2000mm clear.
Stairs to conform to part K of the current building regulations and ambient disabled standards.
Nosings to have contrasting colour contrasted full width of treads min 50mm wide.
Handrails min 900mm above nosings, 1100mm above landings.
Propose metal prefabricated timber balustrade with closed flights, designed in accordance with BS 5395. Manufacturer to check dimensions prior to fabrication.
GUARDING: TO STAIRCASE / LANDING / VOID
Provide Handrail 900mm above pitch line to staircase together with 900mm minimum high guarding as required Provide 1100mm high balustrade and guarding to staircases and landings.
All balustrades to be vertical and be so constructed to give 90mm maximum gap between any balustrades in open balustrades. Guarding to withstand 0.36kN/m horizontal force
All balustrades to be warm to the touch.



SECTION D D

SECTION E E

FOUNDATIONS GENERALLY
Excavate to form new strip foundations min 200x600mm wide to struct. Eng details and or building inspector's satisfaction.
For retaining purposes to be constructed not less than 100mm below CL.
APR-see Section 12 projecting min 200mm on each side of the supported wall with min 750mm cover to finished ground level taken down below invert level of any adjacent drainage to suitable strata and to a depth agreed with the Local Authority Building Inspector dependent on site conditions
All concrete to be ready mixed, grade C16 to strip and C24 to slab.
Foundations min 500mm below CL, depth to front of drain if within 1 m of foundations.
Min 100x200 concrete strip with A 10 mesh. 50mm min cover, depth to be determined on site between builder and DBS to full satisfaction of the LA Inspector. Any drains passing through foundations to be encased in 200mm concrete, provide RC level over drains passing through walls, provide rodding access points.
All work to comply in every respect and entirety with the building regulations new edition.

EXISTING FOUNDATIONS
To be assessed for inspection by the LA Inspector and or structural engineer and any works to be carried out strictly in accordance with inspectors/engineers report and recommendations. Trench to be excavated along side of the wall and footing to be underpinned with concrete in 1mtr lengths as indicated on drawings to prevent collapse of wall.

GROUND FLOOR SLAB
Solid Ground floor construction
Excavate all spoil and contaminated fill material from under floor slabs and back fill with stone and dust (M.O.T) in 150mm max compacted layers. 50mm sand bladed to receive d.p.m. If filling exceeds 600mm under floor slabs, slabs to be changed to a suspended concrete mesh reinforced type - details to be agreed with Building Control.
Lay 1200 gauge 6mm onto sand blading. 150mm min thick concrete slab cast over reinforced with A142 mesh - level to match existing allowing for any floor finishes.
Floor slab to be new and existing walls, slabs to be joints to be tapered and sealed using proprietary jointing seal. (NOTE - refer to slab detail for membrane or dpm protection provisions which may be necessary to protect).
Any airbricks covered by proposal to be ducted via 100mm dia ducts to new external walls and insert telescopic airbricks sleeved with cavity trays over to connect to outside air.

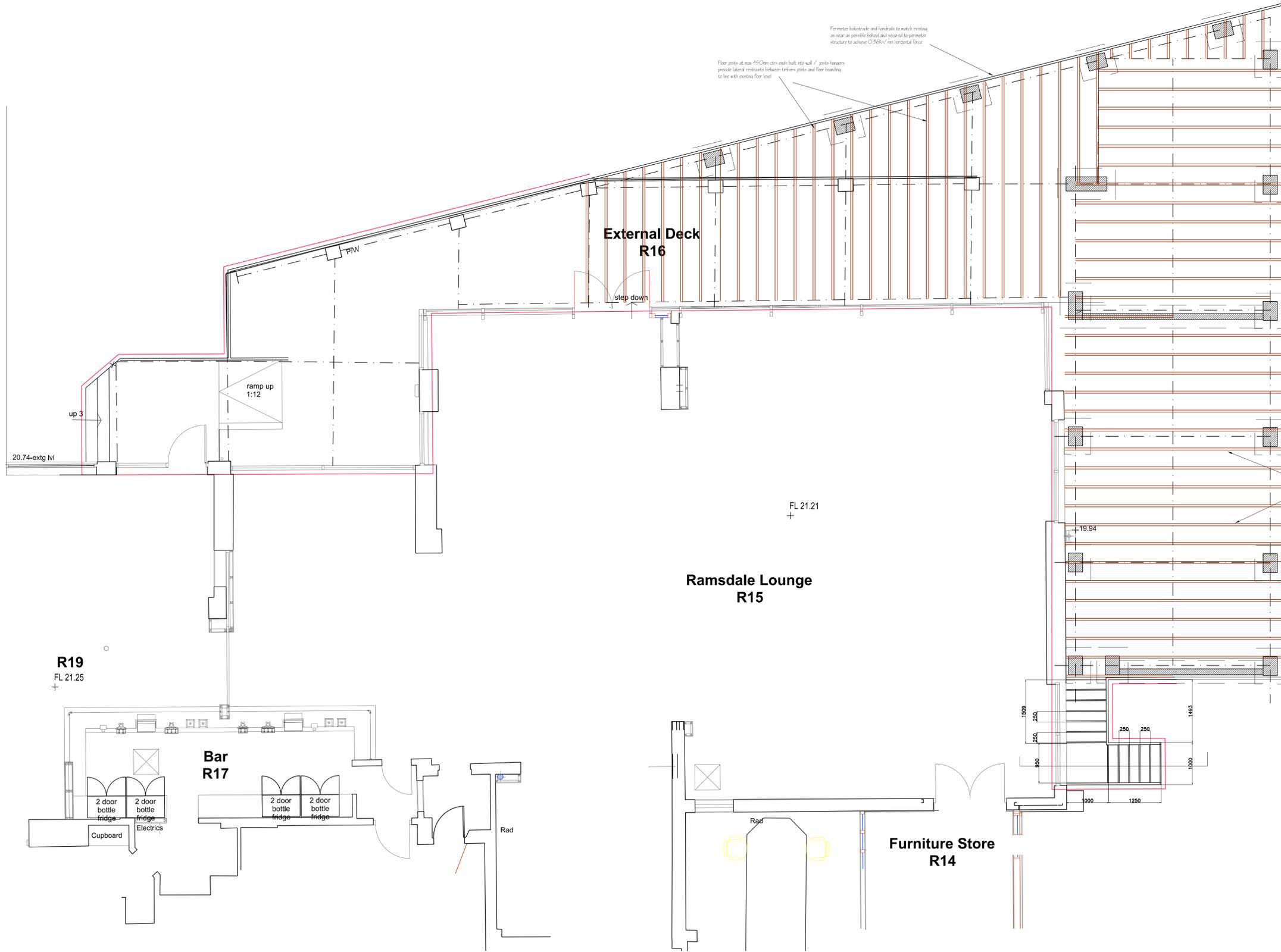
GAS MEMBRANE
Install gas membrane below ground floor - MONOFLEX or similar approved gas retarder membrane sealed in accordance with manufacturers details and recommendations complete with vent outlets within cavity, gas sealed to prevent ingress of methane or similar gases.

BALCONY FLOOR
Timber
Floor 175x50mm SCA, 16 joists at max 400mm ctrs, ends built into wall and stopped down with 1000x50x60mm ms steps (joist hangers at str) Provide lateral restraints to return walls nailed to 3 No joists. Provide all necessary trimmers around landings etc.
Bridging / araling timbers at 1000 ctrs between joists to give lateral restraint.
Under draw ceiling to stone in 12mm layer of weather board lap tape and fill joints.
Boarding to be fixed to perimeter walls and sealed with mastic seal to form robust joint.
Decking treated in slip resistant ply or membrane or similar approved sealed and applied to 20mm resin bonded EG ply board or similar approved (25mm lag board) to entire floor. min 100mm (lagged) qth to be dressed over joists between floor boarding and dressed up vertical sides of board.
All floor joists spanning more than 2000mm to have 25mm wide solid strutting at 1200mm c/c. Floor joists parallel to external brickwork to be provided with lateral restraint via girted steel strap nailed to 3 No. Floor joists with 35mm nogging in between and fixed to brickwork at maximum 1200mm c/c. All joist ends built into the structure are to be suitably protected and adequately sealed to minimise air leakage, or joists may be supported on masonry type joist hangers.
All structural timber to be stress grade C16 and double vacuum preservative treated - unless otherwise indicated on construction notes.
Moisture resistant floor (20mm chipboard / ply) or preservative treated min 20 mm timbers otherwise to be provided to kitchens / utilities and bathrooms.

CEILING FINISHES
Ceiling to stone to be 2 layers of 12mm thick Gyproc Fire line board fixed in strict accordance with the manufactures recommendations and instructions. All joints to be staggered and lapped between layers. Perimeter to be sealed with Adhesive 1071 fire and acoustic sealant or equivalent approved.

TRIMMERS & TRIMMING POSITIONS
Provide required trimmers and trimming around:
a) Stairwell openings, Staircase Manufacturer to confirm size prior to fabrication of staircase

JOIST STRAP LATERAL RESTRAINT:
3x100mm galvanneal ms straps fixed to 3rd, 5th, 7th, 9th, 11th, 13th, 15th, 17th, 19th, 21st, 23rd, 25th, 27th, 29th, 31st, 33rd, 35th, 37th, 39th, 41st, 43rd, 45th, 47th, 49th, 51st, 53rd, 55th, 57th, 59th, 61st, 63rd, 65th, 67th, 69th, 71st, 73rd, 75th, 77th, 79th, 81st, 83rd, 85th, 87th, 89th, 91st, 93rd, 95th, 97th, 99th, 101st, 103rd, 105th, 107th, 109th, 111th, 113th, 115th, 117th, 119th, 121st, 123rd, 125th, 127th, 129th, 131st, 133rd, 135th, 137th, 139th, 141st, 143rd, 145th, 147th, 149th, 151st, 153rd, 155th, 157th, 159th, 161st, 163rd, 165th, 167th, 169th, 171st, 173rd, 175th, 177th, 179th, 181st, 183rd, 185th, 187th, 189th, 191st, 193rd, 195th, 197th, 199th, 201st, 203rd, 205th, 207th, 209th, 211st, 213rd, 215th, 217th, 219th, 221st, 223rd, 225th, 227th, 229th, 231st, 233rd, 235th, 237th, 239th, 241st, 243rd, 245th, 247th, 249th, 251st, 253rd, 255th, 257th, 259th, 261st, 263rd, 265th, 267th, 269th, 271st, 273rd, 275th, 277th, 279th, 281st, 283rd, 285th, 287th, 289th, 291st, 293rd, 295th, 297th, 299th, 301st, 303rd, 305th, 307th, 309th, 311st, 313rd, 315th, 317th, 319th, 321st, 323rd, 325th, 327th, 329th, 331st, 333rd, 335th, 337th, 339th, 341st, 343rd, 345th, 347th, 349th, 351st, 353rd, 355th, 357th, 359th, 361st, 363rd, 365th, 367th, 369th, 371st, 373rd, 375th, 377th, 379th, 381st, 383rd, 385th, 387th, 389th, 391st, 393rd, 395th, 397th, 399th, 401st, 403rd, 405th, 407th, 409th, 411st, 413rd, 415th, 417th, 419th, 421st, 423rd, 425th, 427th, 429th, 431st, 433rd, 435th, 437th, 439th, 441st, 443rd, 445th, 447th, 449th, 451st, 453rd, 455th, 457th, 459th, 461st, 463rd, 465th, 467th, 469th, 471st, 473rd, 475th, 477th, 479th, 481st, 483rd, 485th, 487th, 489th, 491st, 493rd, 495th, 497th, 499th, 501st, 503rd, 505th, 507th, 509th, 511st, 513rd, 515th, 517th, 519th, 521st, 523rd, 525th, 527th, 529th, 531st, 533rd, 535th, 537th, 539th, 541st, 543rd, 545th, 547th, 549th, 551st, 553rd, 555th, 557th, 559th, 561st, 563rd, 565th, 567th, 569th, 571st, 573rd, 575th, 577th, 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BALCONY FLOOR
 Trusses
 Floor 175x50mm SC4, 15 joists at max 400mm cts, ends built into wall and strapped down with 100x50x6mm ms straps (post hangers sl. sl). Provide lateral restraints to return walls nailed to 3 No joists. Provide all necessary trimmers around landings etc.
 Beams / stringers
 Beams at 500mm cts between joists to give lateral restraint.
 Under draw ceiling to store in 12mm layer of weather board top tape and fill joints.
 Decking
 Decking finished in slip resistant single ply membrane or similar approved material and applied to 25mm resin bonded EG ply board or similar approved (25mm 18kg/m² quilt to be checked over joists between floor boarding and dressed up vertical sides of board).
 All floor joists spanning more than 2500mm to have 38mm wide solid strutting at 1250mm c/c. Floor joists parallel to external brickwork to be provided with lateral restraint via galvanized mild steel straps nailed to 3 No. Floor joists with 38mm noggins in between and fixed to brickwork at maximum 1200mm c/c. All joist ends built into the structure and to be suitably protected and adequately sealed to prevent air leakage, or joists may be supported on masonry type post hangers.
 All structural timber to be stress graded C16 and double vacuum preservative treated - unless otherwise indicated on construction notes.
 Moisture resistant floor (20mm chipboard / ply) or preservative treated min 20mm timbers boarding to be provided to kitchens / utilities and bathrooms.

CEILING FINISHES
 Ceiling to store to be 2 layers of 12mm thick Gyproc. Fire line board fitted in strict accordance with the manufacturers recommendations and instructions. All joints to be staggered and lapped between layers. Perimeter to be sealed with Arcoflex 1071 fire and acoustic sealant or equivalent approved.

TRIMMERS & TRIMMING POSITIONS
 Provide required trimmers and trimming around:
 a) Starwell openings Staircase Manufacturer to confirm size prior to fabrication of staircase

JOIST STRAP LATERAL RESTRAINT:
 30x5mm galvanneal ms straps fixed to 3no. joists @ 2m cts. Provide 100x50 ms solid blocking below joists

STRUTTING:
 Sole to be 3/4 of joist depth or proprietary galvanneal herringbone steel struts. 1 No. row at midspan to joists spanning 2500-4500. 2 No. rows equally for spans greater than 4500mm.

Perimeter balustrade and handrails to match existing or near as possible below and secured to perimeter structure to achieve 0.56kN/m horizontal force

Floor joists at max 450mm cts ends built into wall / joist hangers provide lateral restraints between joists and floor boarding to tie with existing floor level

ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO ORDERING OR ERECTING MATERIALS DO NOT SCALE.

J.KENDAL
 9 SOUTH SQUARE
 THORNTON-CLEVELEYS
 01753 513111

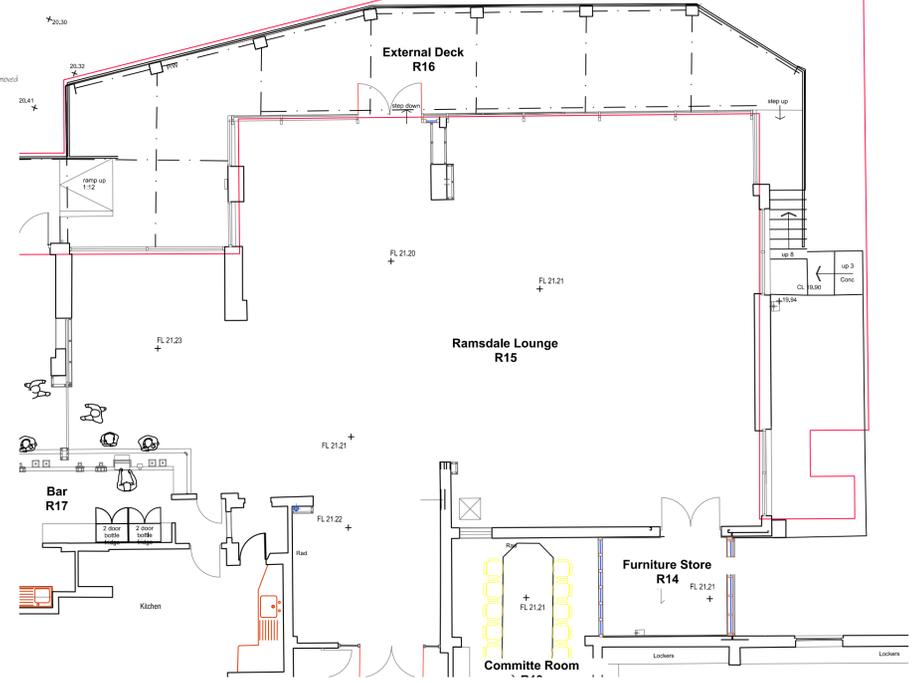
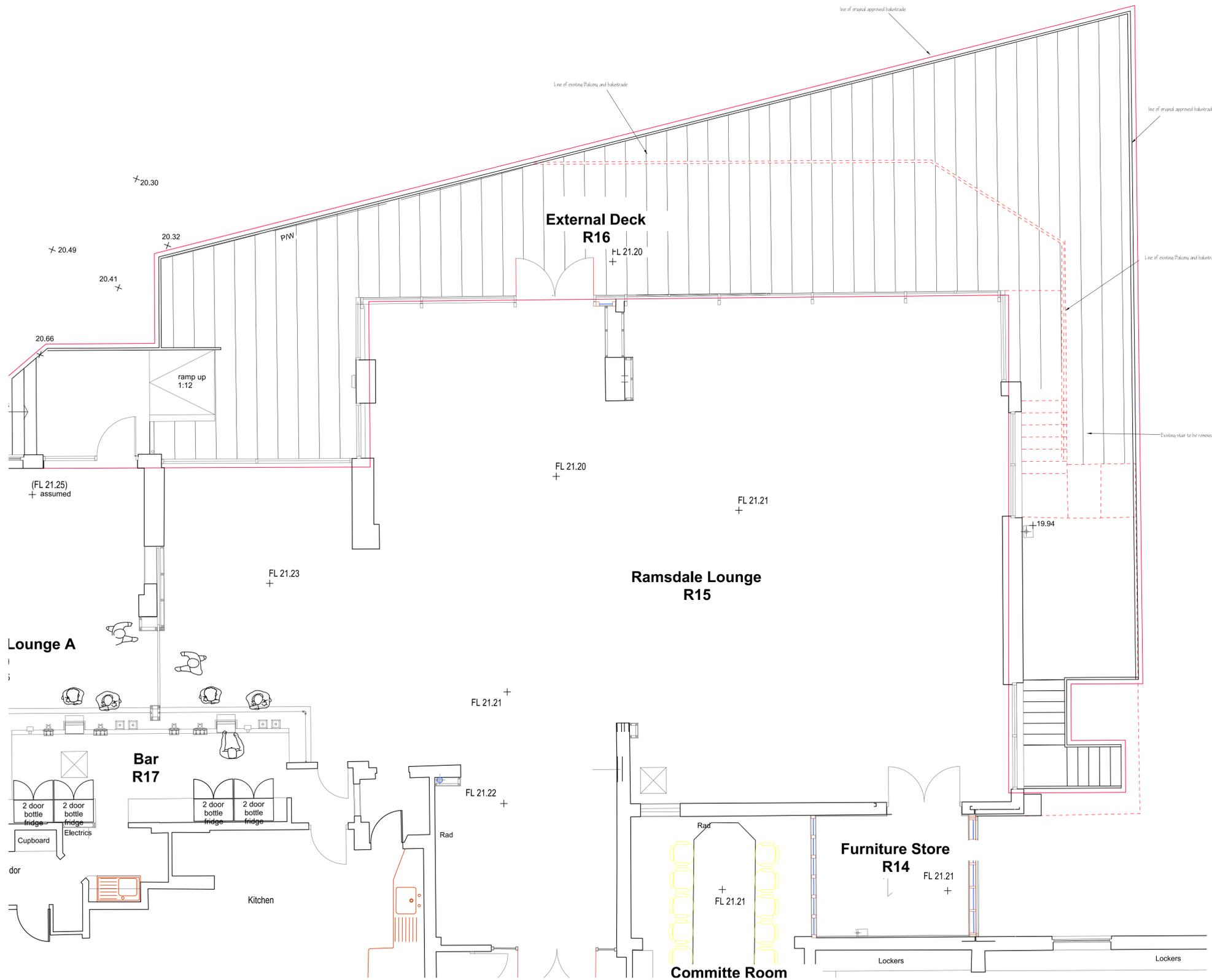
Drawing Title
 PROPOSED EXT.N TO EXISTING VERANDA

Project Title
 BRAMHALL GOLF CLUB
 LADYTHORN LANE, BRAMHALL
 STOCKPORT, SK7 2EY

REV.	DRG. NO.
DATE	SCALE
NOV 2023	1:50 @ A1



BALCONY TIMBERING PLAN



FLOOR / BALCONY PLAN AS EXISTING

FLOOR / BALCONY PLAN AS PREVIOUSLY APPROVED
REF DC/ 076170 May 2020

ALL DIMENSIONS TO BE CHECKED ON SITE
PRIOR TO ORDERING OR ERECTING MATERIALS
DO NOT SCALE.

J.KENDAL
9 SOUTH SQUARE
THORNTON-CLEVELEYS
R15 L1P

Drawing Title
PROPOSED EXT. TO EXISTING VERANDA

Project Title
BRAMHALL GOLF CLUB
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STOCKPORT, SK7 2EY

REV.	DRG. NO.
DATE	SCALE
NOV 2023	1:50 @ A1



THE CLIENT SHOULD NOTE THAT THE DRAWINGS ARE FOR BUILDING REGULATIONS PURPOSES ONLY AND THAT THE CLIENT'S OWN CONTRACTOR AND SUB-CONTRACTORS SHOULD TAKE WITH REPRESENTATIVES FROM THE LOCAL AUTHORITY FIRE DEPT. STATUTORY UNDERTAKINGS AND ANY OTHER RELEVANT BODIES TO ENSURE THAT THE WORKS COMPLY TO THEIR REQUIREMENTS AND CODES OF PRACTICE. ANY MODIFICATIONS, AS A RESULT TO BE AGREED.

ALL DIMENSIONS TO BE CHECKED ON SITE

ALL MATERIALS AND WORKMANSHIP TO COMPLY WITH RELEVANT BRITISH STANDARDS CODES OF PRACTICE AND BUILDING REGULATIONS.

ALL TO THE SATISFACTION OF THE LOCAL AUTHORITY.

ALL WORK TO COMPLY WITH REQUIREMENTS OF COVENANTS OR AGREEMENTS RELATED TO THE PROPERTY.

NONE OF THE WORKS SHOULD ENCROACH ONTO THE ADJACENT PROPERTY WITHOUT THE EXPRESS PERMISSION OF THE NEIGHBOURING OWNER.

THE CONTRACTOR IS TO ENSURE AND CONFIRM FOR HIMSELF THE LOCATION, POSITION AND SIZES OF ALL EXISTING SERVICE CABLES/DUCTS SURROUNDING AND WITHIN THE SITE TO ENSURE THAT NO DAMAGE OCCURS DURING CARRYING OUT OF THE WORKS. THE CLIENT IS TO TAKE RESPONSIBILITY FOR THE APPOINTMENT OF A PARTY WALL SURVEYOR TO MAKE THE NECESSARY NOTICES TO ADJOINING PREMISES WHERE THE PARTY WALL ACT 1997 APPLIES.



Datum 18.00m

NORTH ELEVATION AS EXISTING



Datum 18.00m

SOUTH ELEVATION AS EXISTING



Datum 18.00m

EAST ELEVATION AS EXISTING

ELEVATION AS EXISTING



ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO ORDERING OR ERECTING MATERIALS DO NOT SCALE.

J.KENDAL
9 SOUTH SQUARE
THORNTON-CLEVELEYS
 FIS. L.F.

Drawing Title PROPOSED EXT.N TO EXISTING VERANDA	
Project Title BRAMHALL GOLF CLUB LADYTHORN LANE, BRAMHALL STOCKPORT, SK7 2EY	
REV.	DRG NO. K / 242...001
DATE NOV 2023	SCALE 1:100 @ A1