

NOTES

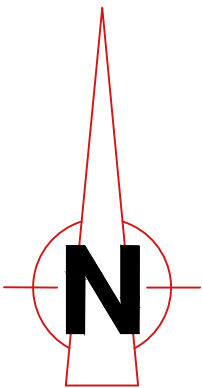
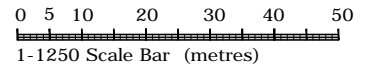
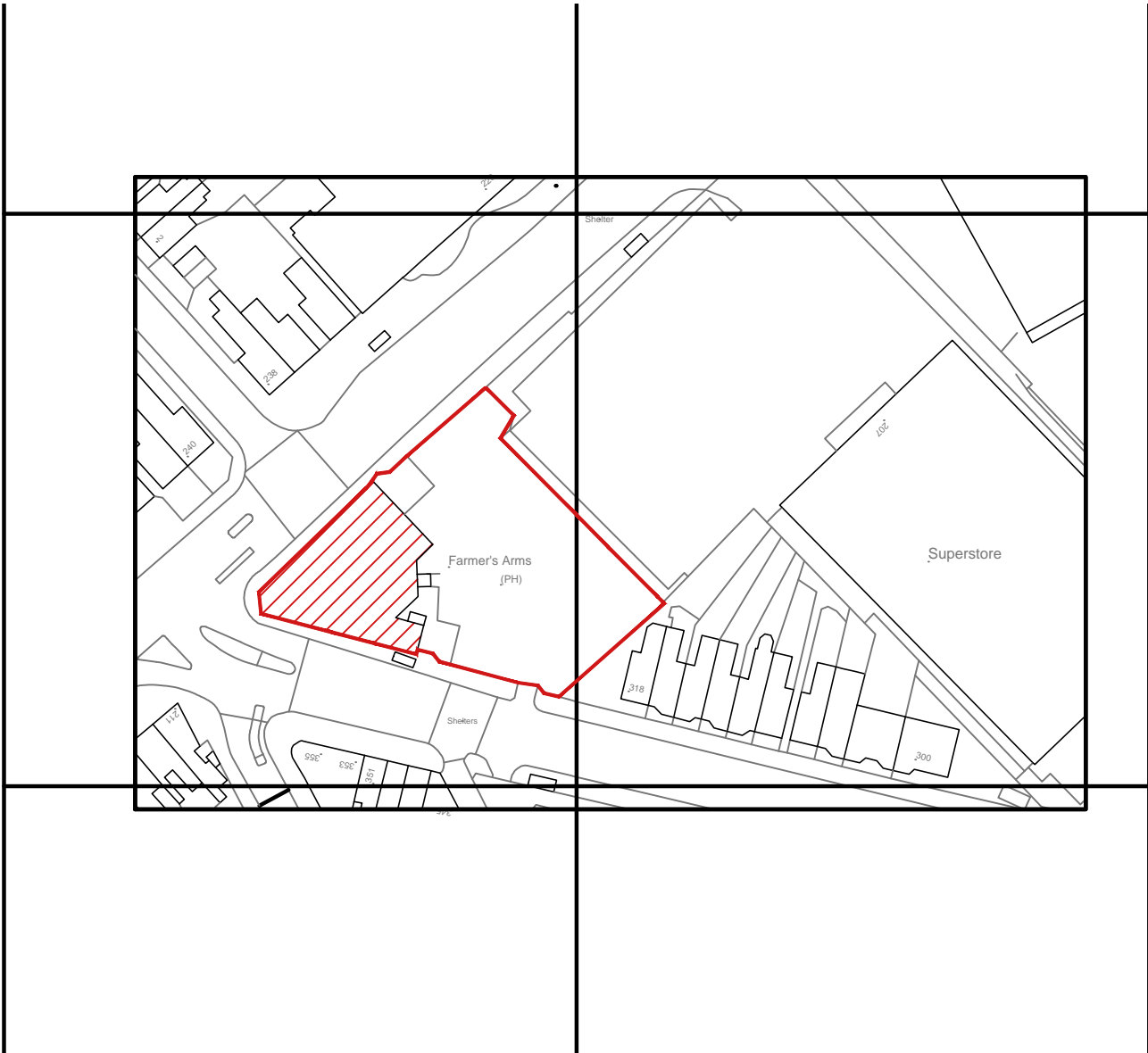
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REVISIONS

DATE



LOCATION

DRAWING DESCRIPTION
LOCATION PLAN

JOB TITLE
PROPOSED GREGGS DRIVE THRU
209 STOCKPORT ROAD
STOCKPORT SK3 0LX

CLIENT
GREENE KING

DRAWN BY JAA

SCALE 1:1250 @ A4

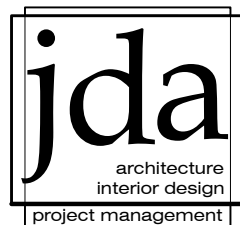
DATE JUL 2022

DRAWING NO.
2125 - 00

REVISION

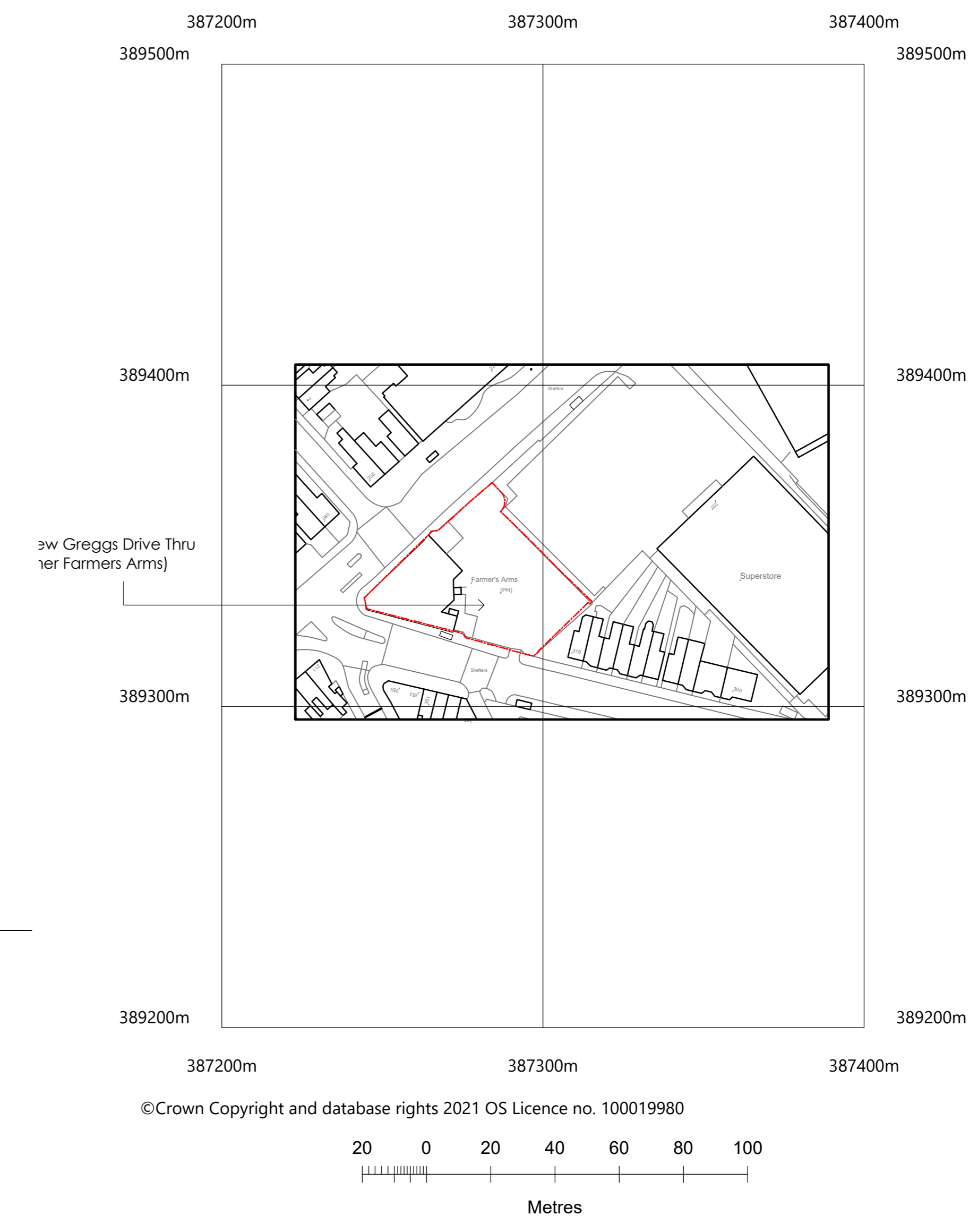
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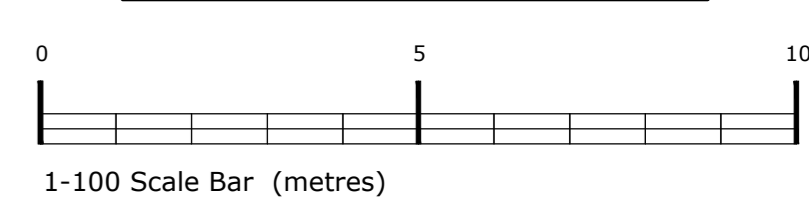


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REVISIONS	DATE	MT
REV A - Drive thru lane amended to increase patio area and suit tracking. Building position adjusted to increase patio. Landscaping island added to entrance to suit tracking. EV positions amended. Bin store repositioned. Lamp columns indicated.	11/02/22	MT
REV B - Cycle stands repositioned and additional bench seating shown. Knee rail fence added.	18/02/22	MT
REV C - Drive thru signage, order points and totem signs updated as per Greggs requirements.	26/02/22	MT
REV D - Updated as requested by planning consultant.	16/03/22	MT
REV E - Planning spaces updated to 4.8 x 2.4m as agreed with client. 2no. EV spaces shown.	21/09/22	MT
REV F - 2no. EV spaces repositioned.	14/07/22	MT
REV G - Lamp columns updated as specialist drawing.	21/07/22	MT
REV H - 2 additional EV spaces added and leader pillar shown.	24/08/22	MT
REV J - Highway future alterations to junction indicated, building, drive thru lane and totem sign adjusted. EV Bays adjusted.	03/01/23	MT
REV K - Additional tree planting indicated as requested by Planning Consultant.	27/03/23	MT
REV L - Trees reconfigured to Greggs comments.	05/04/23	ML
REV L - Trees reconfigured to Greggs comments.	05/04/23	ML
REV M - Yard area and condenser area amended.	21/04/23	JAA
REV N - Yard area and condenser area amended along with lighting columns.	17/05/23	MTL
REV P - Footpath around patio amended to allow for delivery speaker post.	23/06/23	JAA
REV Q - Cars added to drive thru lane.	26/06/23	JAA
REV R - No. of EV spaces moved between bays 2 & 3 near unit.	26/06/23	JAA
REV S - Key updated for bins.	26/06/23	JAA



PLAN TAKEN FROM MIDLAND SURVEYS DRAWING 39510 DATED JULY 2021



PLANNING

DRAWING DESCRIPTION
 PROPOSED SITE PLAN

JOB TITLE
 PROPOSED GREGGS DRIVE THRU
 209 STOCKPORT ROAD
 STOCKPORT SK3 0LX
 CLIENT
 GREENE KING

DRAWN BY M. Taylor	SCALE 1:100@A0
DATE JAN 2022	DRAWING NO. 2125 - 06
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interior design
 project management

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REVISIONS	DATE	MT
REV A - Bin Store relocated, canopy roof extended	11/02/22	MT
REV B - Signage omitted	16/02/22	MT
REV C - Additional window added	27/03/23	ML
REV D - Full length window added, Rev C window removed	05/04/23	ML
REV E - External elevations amended to brick/ render. Roof changed for traditional hip.	14/04/23	ML

'Eternit Slate' roof cladding - colour Blue/Black.

Half round rainwater goods. RAL9006

Where shown thus rendered wall - finish to be colour "Cornflower Blue" (BS 78E53)

Upper walling generally to be rendered masonry to be colour grey RAL 9007.

20 mm shadow gaps between render panels

Top of brick plinth to be finished with blue engineering plinth stretcher bricks.

Facing brick below plinth course exact type to be confirmed

FRONT ELEVATION

aluminum shop front window system. Frame colour to be Anthracite grey. RAL 7016 to match main wall cladding panels. Screens to receive standard dot manifestation as indicated on elevations in accordance to building regulations.

SIDE ELEVATION

aluminum shop front window system. Frame colour to be Anthracite grey. RAL 7016 to match main wall cladding panels. Screens to receive standard dot manifestation as indicated on elevations in accordance to building regulations.

timbered louvred enclosure to Cage Store

Leading edge of canopy and canopy supports to be finished in HPS200 colour Cornflower Blue (BS 78E53)

timbered louvred enclosure to Bin Store

Rendered walling beneath canopy to be finished in colour dark grey - (RAL 7016)

facing brick below plinth course exact type to be confirmed

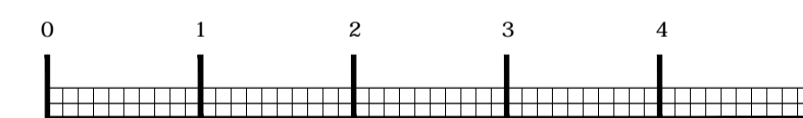
timbered louvred enclosure to Cage Store

REAR ELEVATION

810 x 405mm powder coated aluminium ventilation grille

Drive Thru windows by specialist to be supplied by main developer. Finish RAL 7016.

MOE Door- Factory finished powder coated steel door and frames by specialist. RAL 7016 to match main wall panel finish.



1:50 Scale Bar (metres)

PLANNING

DRAWING DESCRIPTION
PROPOSED ELEVATIONS
(PLANNING)
OPTION 1 RENDER

JOB TITLE
PROPOSED GREGGS DRIVE THRU
209 STOCKPORT ROAD
STOCKPORT SK3 0LX

CLIENT
GREENE KING

DRAWN BY M.Taylor

SCALE 1:50@A1

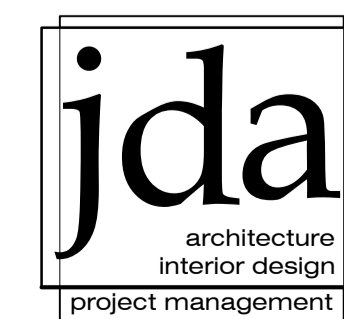
DATE FEB 2022

DRAWING NO. 2125 - 08

REVISION H

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DRIVE THRU SIDE ELEVATION

Drive Thru windows by specialist to be supplied by main developer. Finish RAL 7016.

Rendered walling beneath canopy to be finished in colour dark grey - (RAL 7016)

facing brick below plinth course exact type to be confirmed

timbered louvred enclosure to Cage Store

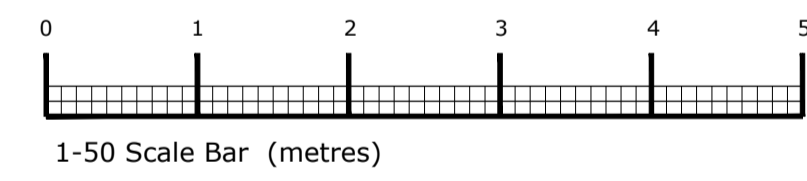
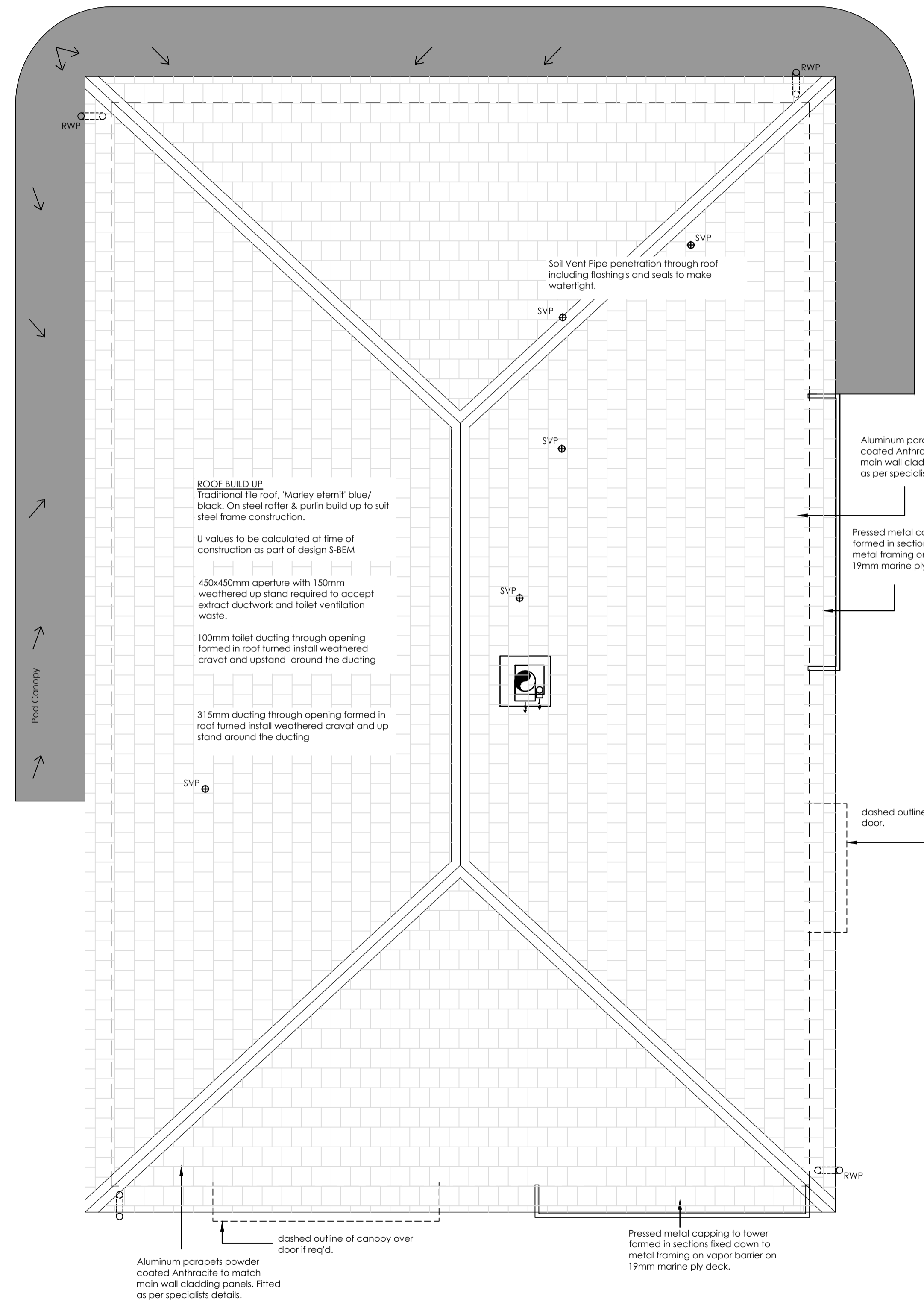
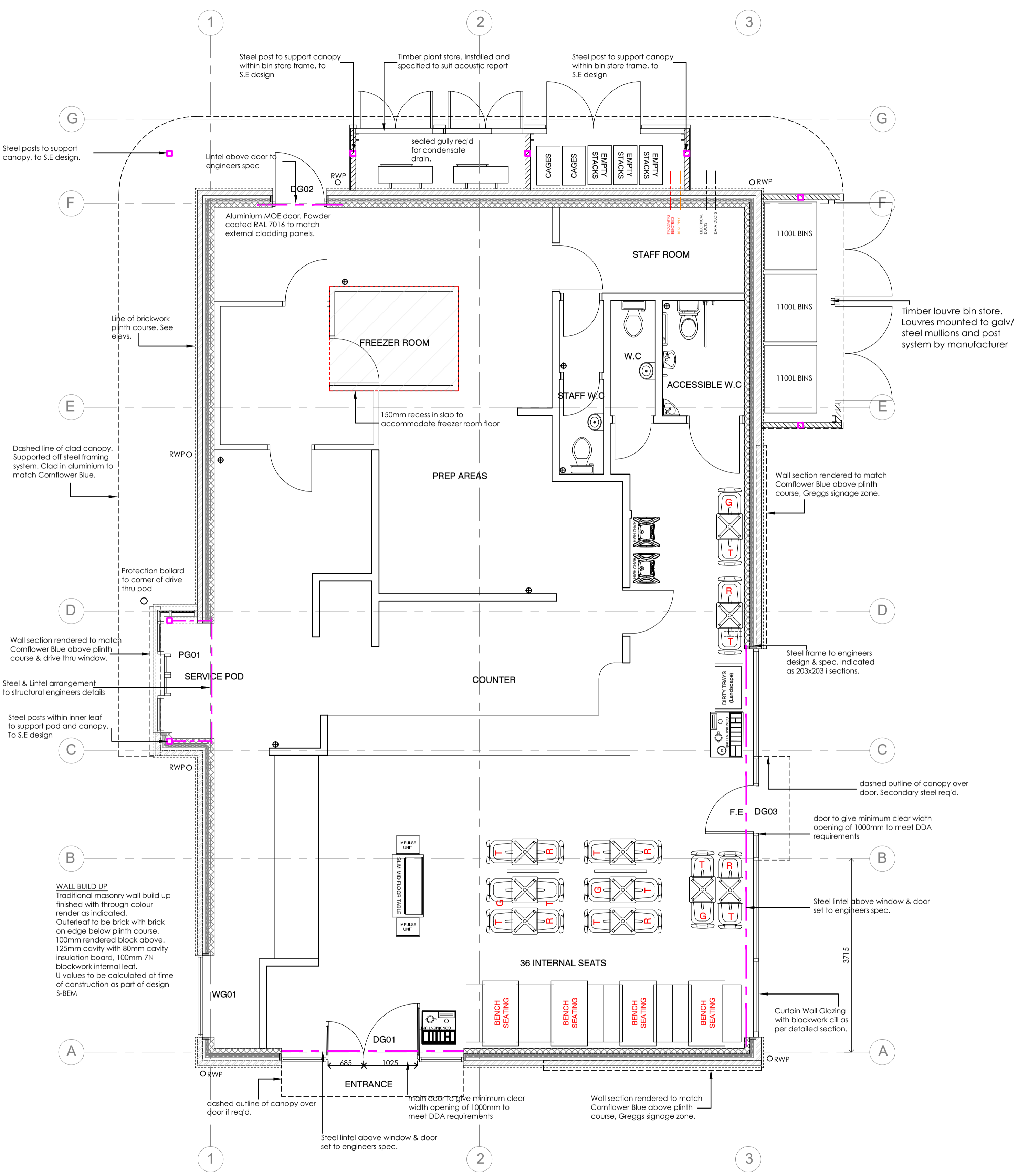
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REVISIONS	DATE	
REV A - Bin Store relocated, canopy roof extended	11/02/22	MT
REV B - Gridlines & Signage omitted	16/03/22	MT
REV C - Greggs Internal Seating added	01/12/22	MT
REV D - Additional window added	27/03/23	ML
REV E - Full length window added, Rev D window removed	05/04/23	ML
REV F - Roof redesigned & amended.	16/05/23	ML
REV G - Shell amended to suit traditional construction	06/07/23	ML



PLANNING

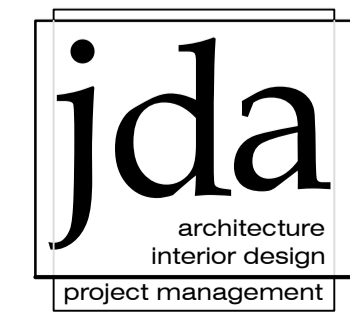
DRAWING DESCRIPTION
PROPOSED PLANS (PLANNING)

JOB TITLE
**PROPOSED GREGGS DRIVE THRU
209 STOCKPORT ROAD
STOCKPORT SK3 0LX**

CLIENT
GREENE KING

DRAWN BY M.Taylor	SCALE 1:50@A1
DATE FEB 2022	DRAWING NO. 2125 - 07
CHECKED	REVISION G

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ROOF PLAN
Scale 1:50 @ A1

PLANTING NOTES :

1. PLANTING DENSITY 3rd PLANTS PER M².
2. BED SIZE/PLANT HEIGHT/POT SIZE AND PLANT NUMBERS SHOWN ON PLAN.
3. TOPSOIL - 400MM DEPTH REQUIRED FOR BEDS.
4. BARK MULCH ALL BEDS, 50MM TOTAL DEPTH.



TOTAL LENGTH - 65m
 TOTAL PLANTED WIDTH 1m. 4.4m PER LINEAR METRE, IN A DOUBLE ROW. AS REQUIRED. KEEP TO 1m TALL WHEN ESTABLISHED.

THE PLANNERS HAVE REQUESTED A EVERGREEN HEDGE, TO REDUCE THE CLARE OF CAR HEADLIGHTS. WE PROPOSE TO USE PRUNUS LUSITANICA, PLANTED IN A STAGGERED DOUBLE ROW, WHICH WHEN ESTABLISHED WILL BE KEPT AT 1m HEIGHT.
 PRUNUS LUSITANICA 40-60cm 2L POT
 TOTAL PLANTS 260N°

PROPOSED NEW GRASS SEEDING AREA REQUESTED BY HIGHWAYS

PROPOSED NATIVE HEDGE

BED 5m². PRUNUS LUSITANICA.
 30-50cm / 3L / 15N°

GRASS AREA

BED 7m². YIBURNUM EYE PRICE.
 30-40cm / 2L / 21N°

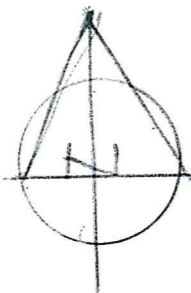
GRASS SEEDING AREA

110 m² IN TOTAL.
 DEPTH OF SOIL REQUIRED 150MM.
 OVERSEED AREA AFTER 12 WEEKS

TREES:

- POT GROWN 10-12cm, 25L POTS, SINGLE STAKE & TIE.
- BETULA PENDULA 4M°
 - ▲ PRUNUS SPINOSA 4M°
 - MALUS SYLVESTRIS 5M°
 - ⊗ CRATAEGUS MONOGYMA 2M°

PROPOSED 1.2m WIDE, KEPT 1m HIGH WHEN ESTABLISHED



LIGHTING COLUMNS

PAVING

GREGGS DRIVE THRU

LITTER BINS

SEATING

BED 12m². HOLMIA SUNDANCE.
 30-40cm / 3L / 36N°

LITTER BINS

NATIVE HEDGE

LIGHTS

KNEE RAIL

BUS STOP

BED 15m². SPIRAEA GOLDFLAME.
 20-40cm / 2L / 45N°

KNEE RAIL FENCE

BED 20m². PRUNUS OTTO LUYKEN.
 20-30cm / 2L / 60N°

PAVING

BED 20m². LONICERA BAGGESONS GOLD.
 20-40cm / 2L / 60N°

BED 12m². HERBE RED EDGE.
 30-40cm / 3L / 36N°

BED 16m². POTENTILLA ELIZABETH.
 20-30cm / 2L / 48N°

BED 18m². ESCALLONIA RED HEDGER.
 30-50cm / 2L / 55N°. BED 80cm WIDE.

BED 25m². SENICIO SUNSHINE.
 30-40cm / 2L / 75N°

BED 16m². ELONIMUS JAPONICUS.
 30-40cm / 3L / 48N°

BED 16m². Ceanothus CASCADE.
 30-40cm / 3L / 48N°

BED 25m². ROSA CANINA.
 20-30cm / 3L / 75N°

BED 16m². LONICERA NITIDA.
 30-40cm / 2L / 48N°

BED 18m². COTONEASTER HORIZONTALIS.
 20-40cm / 2L / 54N°

BED 16m². CORNUS SIBIRICA.
 40-60cm / 3L / 48N°

EXISTING TREES AS SHOWN.

LITTER BINS

CUSTOMER PARKING 24N°

LIGHT COLUMNS

LIGHT COLUMN

- DETAILED PLANTING NOTES.**
 PREPARED BY BRANCHING OUT TWO LTD.
- All tree, shrub planting and turfing to be carried out in accordance with British Standards 3936 and 4428.
 - Soil: Use imported and screened topsoil, it should be free from weed and builders rubble, larger than 50mm in any direction. Topsoiled areas to be cultivated prior to planting. Compaction by machine is not acceptable. Specified Depths:
 - + 450mm Ornamental Planting
 - + 300mm Structure Shrub beds
 - + 150mm for Turf and seeded area.
 - + 500mm Tree Planting
 - Shrub Planting: All pot grown shrubs to be planted in a 300 x 300mm prepared pit or one large enough to take the plant's roots without damaging them. Unless specified use pot grown stock, 2-3 litre pot size. Plants to be firmed in well after planting, water well and remove any dead or damaged branches.
 - Tree Planting: All standard trees to be planted in a 900x900mm pit, unless specified. Single or double staked as required. NOTE: Larger trees to be double staked and double tied. Tree pits to be backfilled with tree and shrub compost and imported topsoil. Firm in and water well.
 - Bare Rooted Shrub / Tree planting:
 - Plant bare rooted stock between November - March depending on local conditions and availability. Shrub size to be specified by landscape Architect. Sit plant shrubs with a slow release fertiliser. Firm in well after planting. Care if required.
 - Turfing: Prepare with cultivator, area that is to be turfed, remove any stones, debris. Hand rake and firm soil prior to laying. Use only a seed grown, amenity turf, to be laid with broken joints, plank during and after laying. Water within 24 hours of laying. First cut when grass has reached 50-60mm. All cuttings should be removed from site. The maximum height the grass should be left after that before cutting is 100mm / 125mm. Cut grass every 2 weeks during the growing season.
 - Mulching: All planted areas to be covered with an Ornamental dark mulch or similar, to an overall depth of 75mm unless specified otherwise. Sit plant shrubs with a slow release fertiliser. Firm in well after planting. Care if required. Rake even over beds at end.
 - Maintenance: All areas of tree and shrub planting are to be subject to a 12 months defect liability period. At the end of this period any losses are to be replaced with a stock of similar size and quality. Water trees, shrubs and grass during drought periods for the first 12 months, this must be done by the tenant / landlord. Keep beds free from weeds, by hand cultivation or use of an approved contact weed killer. Number of visits for weeding in 12 month period - 4/5 no. Check trees and shrubs for wind rock, check stakes and ties. Remove any dead or damaged branches, prune if required. Hand remove any litter that has collected in beds and take away from site. During periods of extreme drought, extra watering visits may be required. This will be charged to the client at a pre-agreed rate, as would extra grass cutting visits. At end of 12 month period a site visit must be made to check condition of site, replace any trees, shrubs. Top up bark mulch in any places, to the previous depth of 50mm, unless specified.
- NOTE: The defects liability period may be requested to be extended but this will depend on location and site requirement

- REV E - JULY 23. MOVE LIGHT COLUMNS + ORDER POINTE
- REV D - ADD LITTER BINS REMOVE BED, MOVE TREE JUNE
- REV C - ADDITIONAL TREES, ALTER LITTER AREAS MAY 23RD
- REV B - JAN 23. ADDITIONAL HEDGE & GRASS AREA

Branching Out TWO LTD

SUNRISE HOUSE, HULLEY ROAD, MACCLESFIELD, CHESHIRE, SK10 2LP

CONTRACT LANDSCAPE LAYOUT, GREGGS & STOCKPORT ROAD. E DB/C

CLIENT GREENE KING

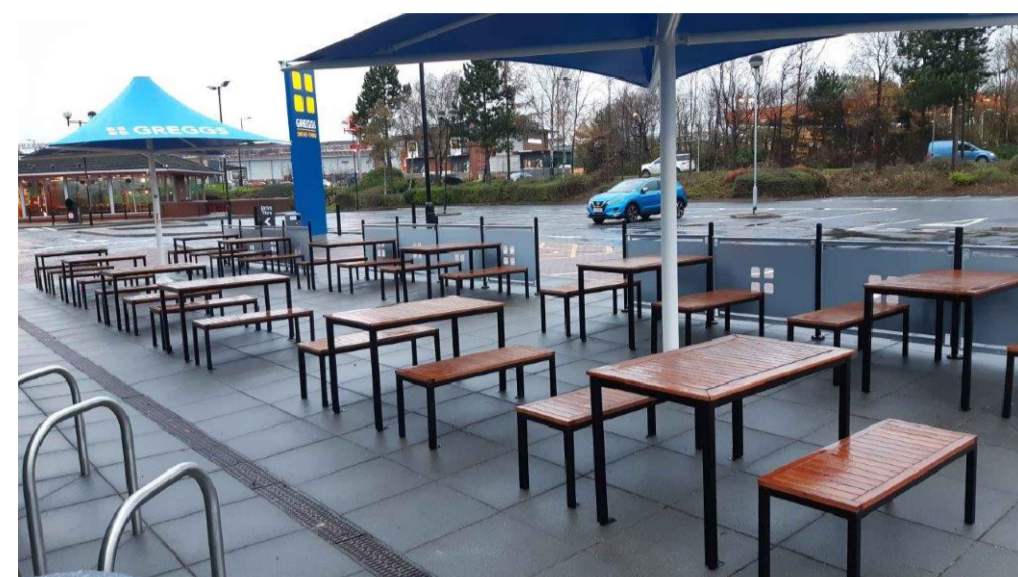
SCALE: 1:150 @ A2 DRAWN PAUL DATE JAN 23

TEL: 01625 505919 FAX: 01625 626208 branchingout@btinternet.com www.branchingouttwo.co.uk

LANDSCAPE ARCHITECTS • PROJECT MANAGERS • COMMERCIAL & PRIVATE LANDSCAPING

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REVISIONS _____ DATE _____



TYPICAL FURNITURE



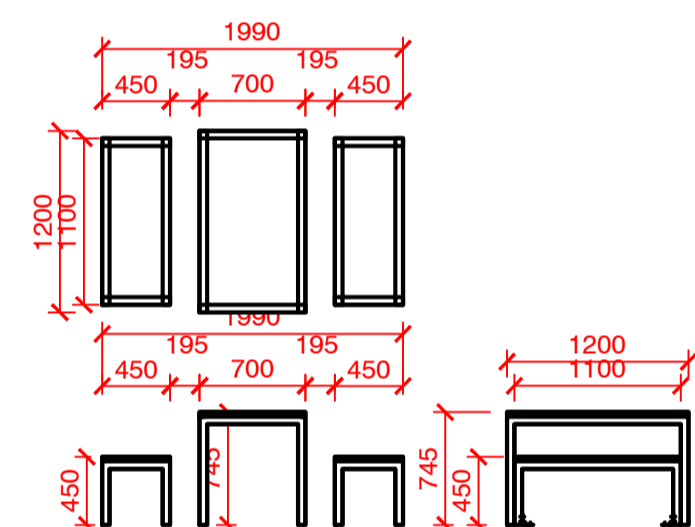
TYPICAL JUMBRELLA AND BARRIERS



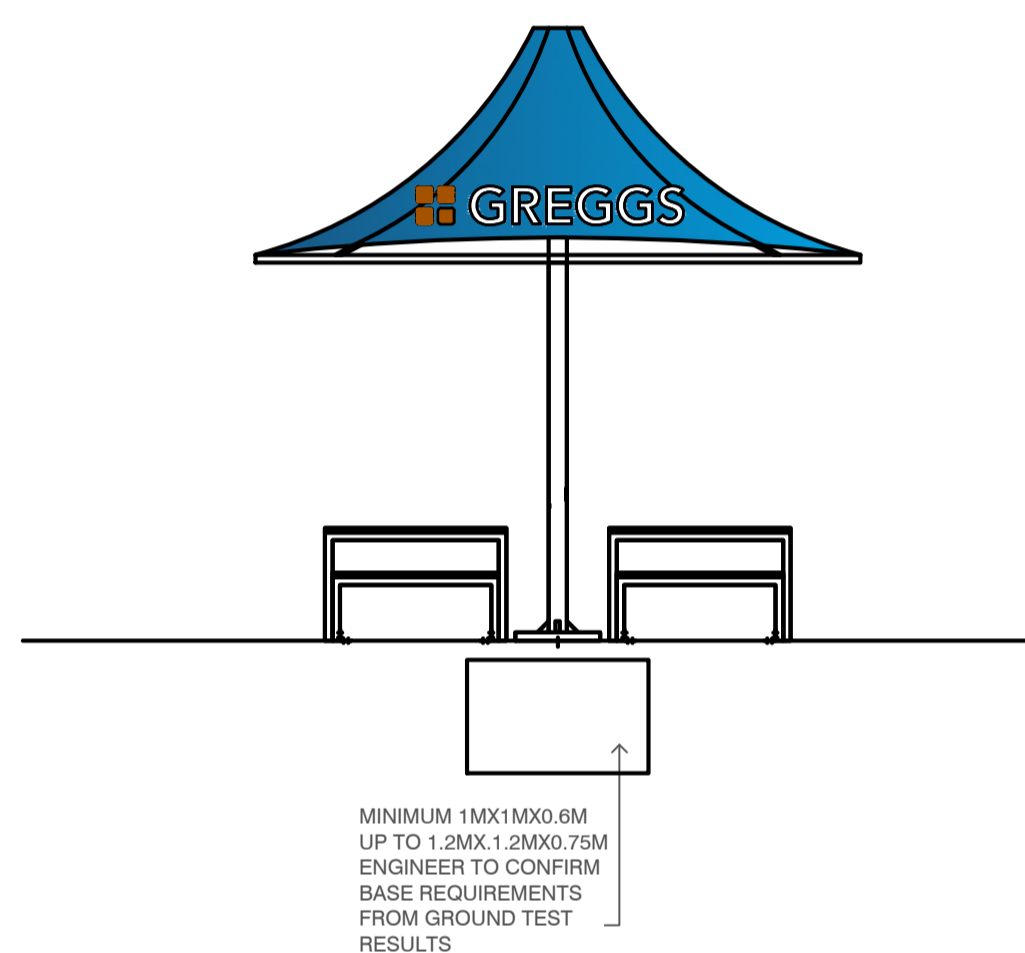
TYPICAL BUILDING APPEARANCE 1



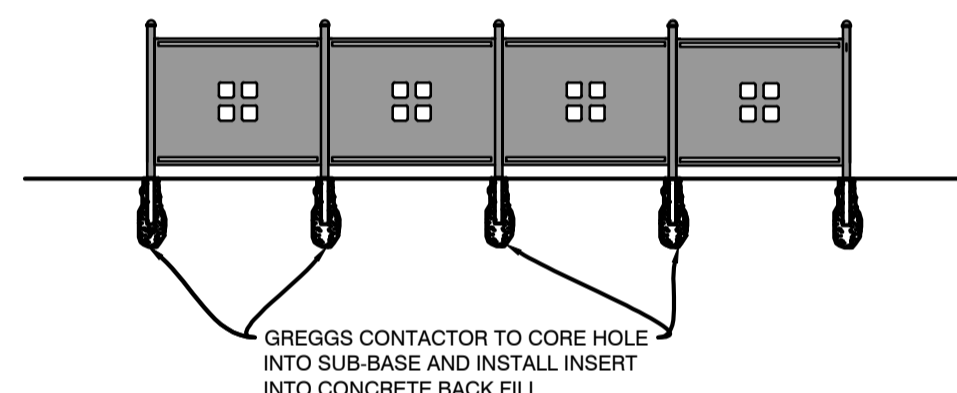
TYPICAL BUILDING APPEARANCE 2



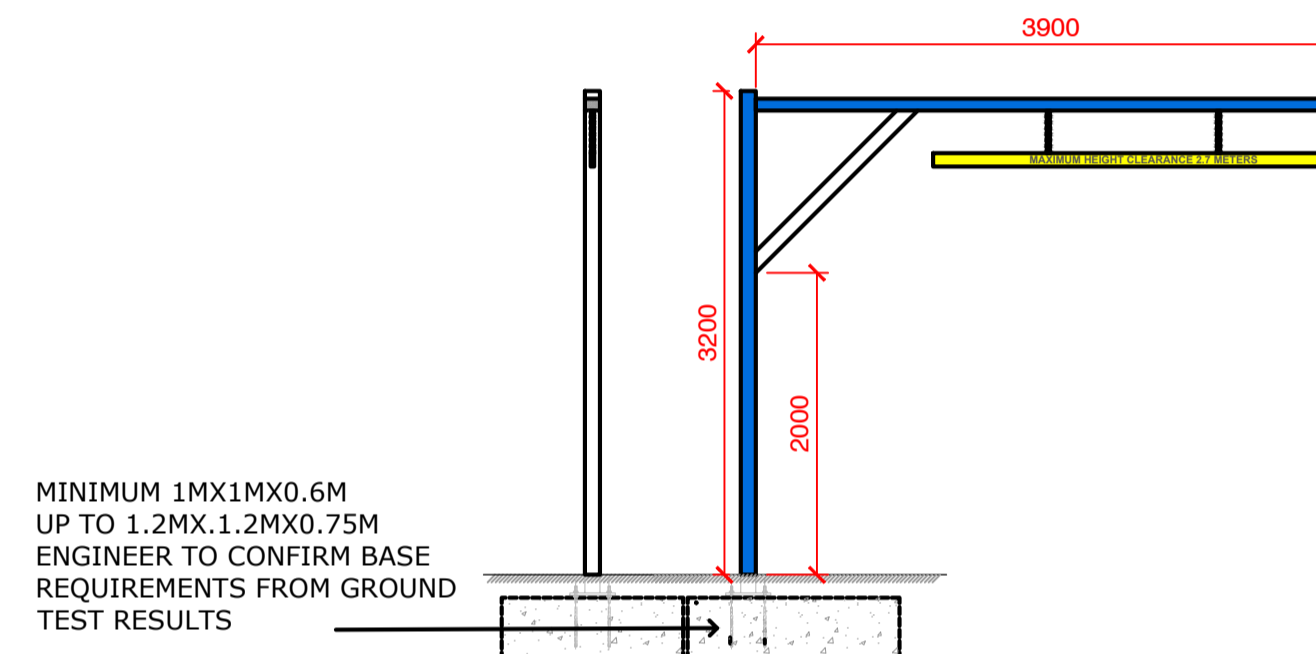
1 EXTERNAL FURNITURE



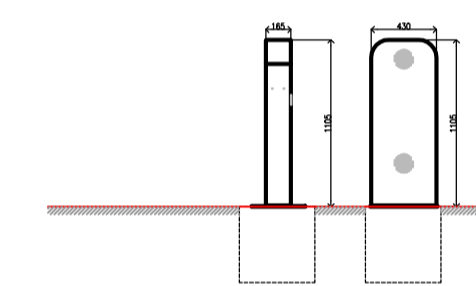
2 TYPICAL JUMBRELLA
 Scale 1:50@A1



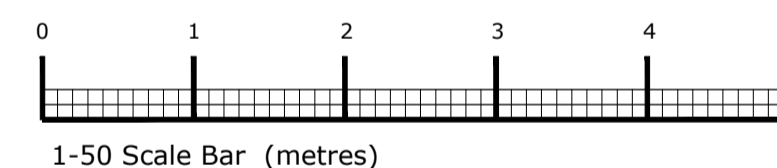
3 TYPICAL BARRIERS
 Scale 1:50@A1



4 DRIVE THRU BARRIER
 Scale 1:50@A1



5 SPEAKER POST
 Scale 1:50@A1



PLANNING

DRAWING DESCRIPTION
 PROPOSED EXTERNAL TREATMENTS

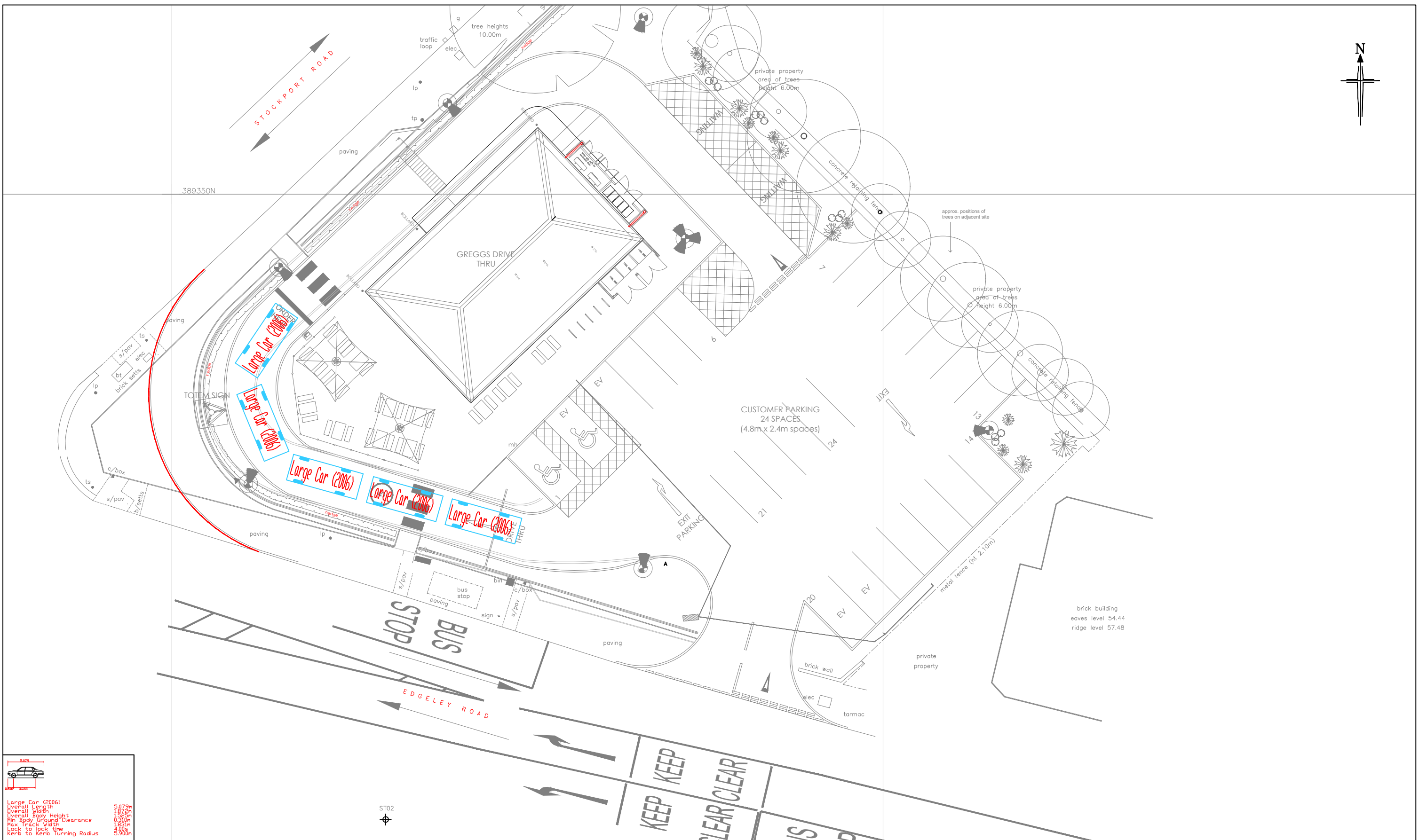
JOB TITLE
 PROPOSED GREGGS DRIVE THRU
 209 STOCKPORT ROAD
 STOCKPORT SK3 0LX

CLIENT
 GREENE KING

DRAWN BY	M.Taylor	SCALE	AS SHOWN @A1
DATE	FEB 2022	DRAWING NO.	2125 - 10
CHECKED		REVISION	

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5479	
1125	
Large Car (2006)	5.079m
Overfall Length	1.872m
Overall Width	1.872m
Overall Body Height	0.310m
Min Spay Ground Clearance	1.831m
Max Track Width	1.831m
Lock to lock time	4.00s
Kerb to Kerb Turning Radius	3.900m

BRYAN G HALL

CONSULTING CIVIL & TRANSPORTATION PLANNING ENGINEERS

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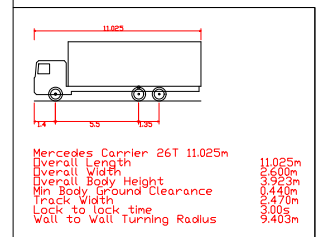
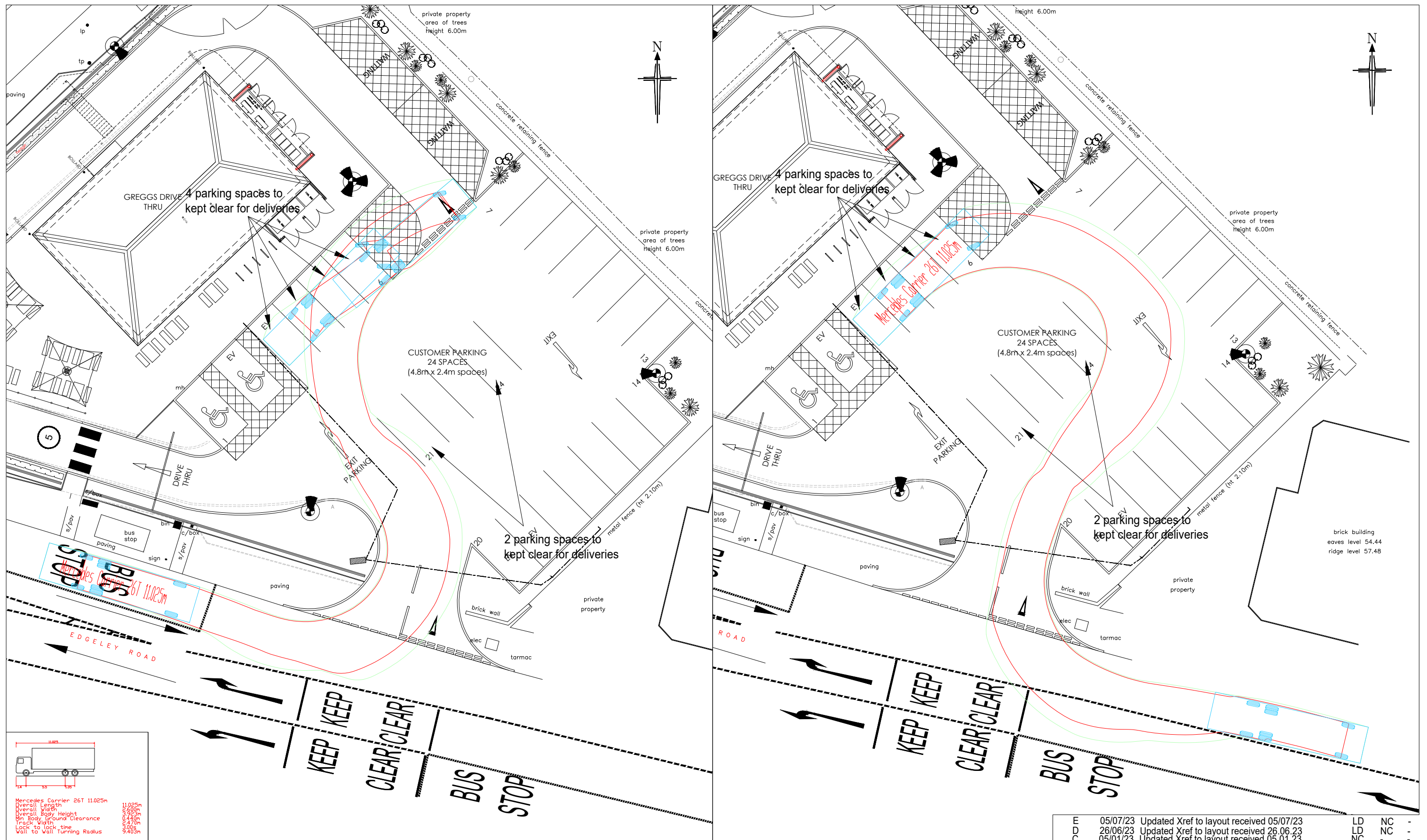
Title: **DRIVE THRU VEHICLE QUEUE**

Status: **FOR PLANNING**

Scale: 1:250
Size: A3 - 420 x 297

Drawn: NC Chkd: MC Appvd: MC

C	05/07/23	Updated Xref to layout received 05.07.23	LD	NC	-
Rev:	Date:	Amendment:	DRN	CHK	APR
Client:	GREEN KING BREWING AND RETAILING				
Project:	PROPOSED DRIVE THRU, EDGELEY ROAD, STOCKPORT				
Drawing No:	21/408/ATR/003		Revision:	C	
Job No:	21-408		Date:	29.09.2022	



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Title: SERVICE VEHICLE ACCESS AND EGRESS TRACKING

Status: FOR INFORMATION

Scale: 1:250
Size: A3 - 420 x 297

Drawn: AH Chkd: NC Appvd: MC

E	05/07/23	Updated Xref to layout received 05/07/23	LD	NC	-
D	26/06/23	Updated Xref to layout received 26.06.23	LD	NC	-
C	05/01/23	Updated Xref to layout received 05.01.23	NC	-	-
B	18/07/22	Updated Xref to layout received 14.07.22	NC	-	-
A	28/02/22	Updated Xref to layout received 25.02.22	AH	NC	MC
Rev:	Date:	Amendment:	DRN	CHK	APR

Client: GREEN KING BREWING AND RETAILING

Project: PROPOSED DRIVE THRU, EDGELEY ROAD, STOCKPORT

Drawing No: 21/408/ATR/001
Job No: 21-408

Revision: E
Date: 28/02/2022