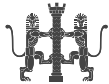


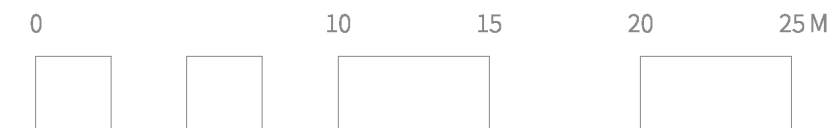
Rev	Date	Notes	Name
-	11.02.2021	First issue	CH
A	26.05.2021	Client name amended, as request by Client	CH
B	10.06.2021	Site boundary amended to include car parking and access as requested by planning consultant	TK
C	29.06.2021	Client name amended, as request by Client	CH
D	22.12.2021	Site boundary amended as requested by case officer	TK
E	31.01.2022	Title bar issue revision updated	CH

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Manchester
M3 5JZ
Liverpool
L3 5PF
T 0151 709 2897
T @drome-arch
E mail@drome-architects.com
W www.drome-architects.com

Project:	239-245 London Road
Client:	Mialex Limited
Drawing Title:	Site Location Plan
Drawing no:	2105-000
Status:	RIBA Stage 3 - Statutory Approval
Scale:	1:1250 @ A3
Date:	11.02.2021
Issue:	Revision E - [31.01.2022] - CH
Drawn:	Chris Hatter



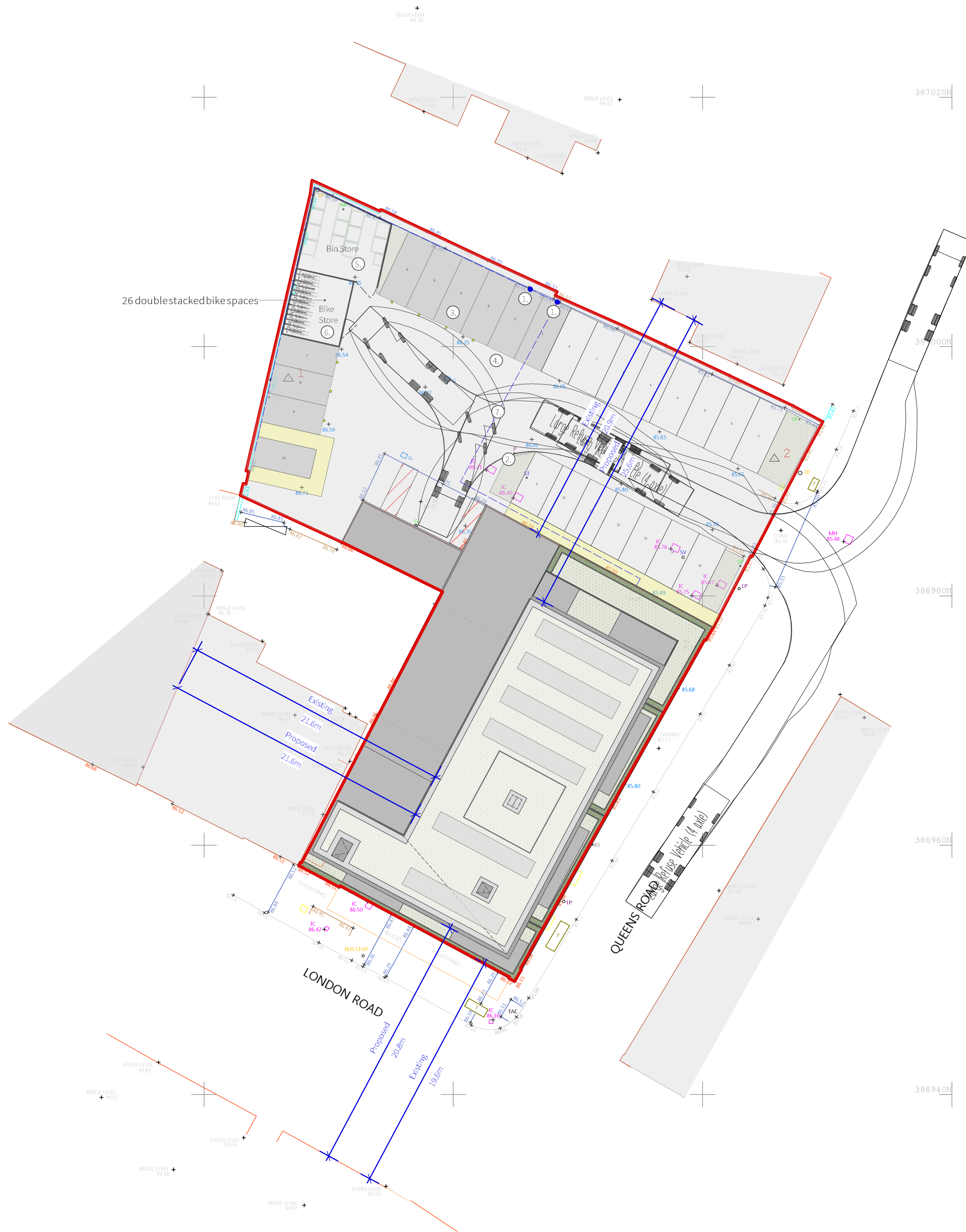
Rev	Date	Notes	Name
-	11.02.2021	First issue	CH
A	26.05.2021	Client name amended, as request by Client	CH
B	05.07.2021	Client name amended as request by Client. Site boundary amended to include car parking and access as requested by planning consultant	CH
C	31.01.2022	Site boundary amended as requested by case officer	CH

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L3 5PF

T 0151 709 2897
T @drome-arch
E mail@drome-architects.com
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Project:	239-245 London Road
Client:	Mialex Limited
Drawing Title:	Existing Site Plan
Drawing no:	2105-001
Status:	RIBA Stage 3 - Statutory Approval
Scale:	1:250 @ A3
Date:	11.02.2021
Issue:	Revision C - [31.01.2022] - CH
Drawn:	Chris Hatter



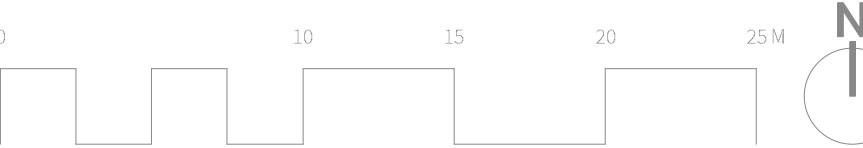
- Note:
1. EV charging points. Spaces allocated for the development to be equipped with cable ducting for future retrofit.
 2. CCTV to cover residential parking spaces.
 3. Residential parking spaces demarcated with different colour surface treatment.
 4. Collapsible, lockable bollards to the rear of each residential space
 5. Refuse store to have a 2100mm high close-boarded timber fencing, perimeter with a self-closing and 'slam and lock' gate.

No.4 1100L Eurobins for paper/card
No.4 1100L Eurobins for glass & plastic
No.4 1100L Eurobins for residual waste
No.1 550L bin for food waste
 6. Cycle store to be steel-framed construction with floor, walls and roof to be constructed from a minimum 11mm boards. Gate to be steel-framed, self-closing and secured with a lock certificated to BS 3621. BROXAP Hi rise cycle storage system with BROXAP sheffield stand system, or similar and approved.
 7. Ducting location for EV charging points.
 8. Car parking demarcation will be by appropriate signage.
 9. Full details of landscaping to be provided separately via condition.

Key:

 Commercial Unit Waste Deposit

Rev	Date	Notes	Name
A	05.07.2021	Client name amended as request by Client. Site boundary amended to include car parking and access as requested by planning consultant	CH
B	21.01.2022	Site boundary amended requested by Stockport MBC	CH
C	21.01.2022	Disabled parking space and EV charging note added as requested by transport consultant	CH
D	22.02.2022	Notes added regarding CCTV, surface treatment of parking spaces, collapsible bollards, refuse details and cycle store details as requested	CH
E	30.03.2022	Roof amended and separation distances shown as requested by Case Officer. Green roof added as requested by the client. Change of page size to accommodate separation distances.	CH
F	30.03.2022	EV charging point shown. Bin store schedule shown. Accessible transfer space amended.	CH
G	31.03.2022	Illustrative landscaping shown.	CH
H	20.04.2022	Separation distances shown as requested	CH
I	01.06.2022	Swept path illustrated. Landscaping omitted to provide access through to West car park. Bin/Bikestore amended to provide space for 26 bike spaces in total.	CT



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M3 5JZ
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T 0151 709 2897
T @drome-arch
E mail@drome-architects.com
W www.drome-architects.com

Project:	239-245 London Road
Client:	Mialex Limited
Drawing Title:	Proposed Site Plan
Drawing no:	2105-005
Status:	RIBA Stage 3 - Statutory Approval
Scale:	1:250 @ A2
Date:	25.05.2021
Issue:	Revision I - [01.06.2022] - CT
Drawn:	Chris Hatter



Third floor

3.01 // 1B1P
3.02 // 1B1P
3.03 // 1B1P
3.04 // 2B3P
3.05 // 1B1P
3.06 // 1B1P

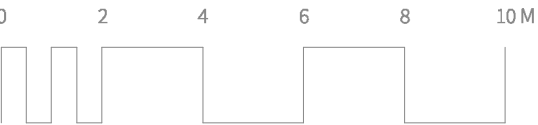
Material Key:

- Planting
- Balcony deck area
- Balustrade - open steel to allow planting to use as substratum
- Area for soft ground cover

Notes

Drawing based upon information provided by the Client.

Rev	Date	Notes	Name
D	06.07.2021	Issued for Planning Submission	CH
E	22.07.2021	Material key added and balcony area annotated as requested by case officer	CH
F	21.12.2021	Set back to staircase as requested by Stockport MBC	TK
G	10.01.2022	Apt 3.01, 3.05 & 3.06 shower room amended as requested by client	CH



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T 0151 709 2897
T @drome-arch
E mail@drome-architects.com
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Project:	239-245 London Road
Client:	Mialex Limited
Drawing Title:	Proposed Third Floor Plan - Vertical Extension
Drawing no:	2105-124
Status:	RIBA Stage 3 - Statutory Approval
Scale:	1:150 @ A3
Date:	21.05.2021
Issue:	Revision G - [10.01.2022] - CH
Drawn:	Chris Hatter



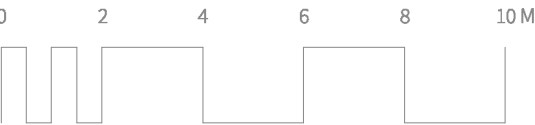
Fourth floor

4.01 // 1B1P
4.02 // 1B1P
4.03 // 1B1P
4.04 // 2B3P
4.05 // 1B1P
4.06 // 1B1P

Notes

Drawing based upon information provided by the Client.

Rev	Date	Notes	Name
D	06.07.2021	Issued for Planning Submission	CH
E	22.07.2021	Stairwell labelled as requested by case officer	CH
F	21.12.2021	Set back to staircase as requested by Stockport MBC	TK
G	10.01.2022	Apt 4.01, 4.05 & 4.06 shower room amended as requested by client	CH



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M3 5JZ
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L3 5PF
T 0151 709 2897
T @drome-arch
E mail@drome-architects.com
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Project:	239-245 London Road
Client:	Mialex Limited
Drawing Title:	Proposed Fourth Floor Plan - Vertical Extension
Drawing no:	2105-125
Status:	RIBA Stage 3 - Statutory Approval
Scale:	1:150 @ A3
Date:	21.05.2021
Issue:	Revision G - [10.01.2022] - CH
Drawn:	Chris Hatter



MaterialKey:

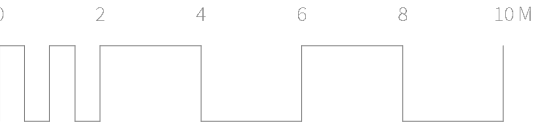
-  Area for soft ground cover
-  74sqm solar photovoltaic panels

Notes

Drawing based upon information provided by the Client.

1. weighted safety railing

Rev	Date	Notes	Name
C	06.07.2021	Issued for Planning Submission	CH
D	21.12.2021	Set back to staircase as requested by Stockport MBC	TK
E	29.03.2022	Green roof shown as requested by client	CH
F	31.05.2022	74sqm solar photovoltaic panels added to roof as requested by client	CT



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M3 5JZ
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T 0151 709 2897
T @drome-arch
E mail@drome-architects.com
W www.drome-architects.com

Project:	239-245 London Road
Client:	Mialex Limited
Drawing Title:	Proposed Roof Plan - Vertical Extension
Drawing no:	2105-126
Status:	RIBA Stage 3 - Statutory Approval
Scale:	1:150 @ A3
Date:	21.05.2021
Issue:	Revision F - [01.06.2022] - CT
Drawn:	Chris Hatter

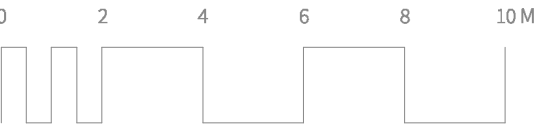


NDSS Legend

- Storage
- Bedroom
- GIA boundary

Notes
Drawing based upon information provided by the Client.

Rev	Date	Notes	Name
-	04.01.2022	First issue	CH
A	10.01.2022	Updated to revised floor plans	CH



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Manchester
M3 5JZ
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L3 5PF

T 0151 709 2897

T @drome-arch

E mail@drome-architects.com

W www.drome-architects.com

Project:	239-245 London Road
Client:	Mialex Limited
Drawing Title:	Proposed Third Floor Plan - NDSS
Drawing no:	2105-142
Status:	RIBA Stage 3 - Statutory Approval
Scale:	1:150 @ A3
Date:	04.01.2022
Issue:	Revision A - [10.01.2022] - CH
Drawn:	Chris Hatter



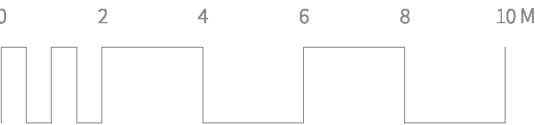
NDSS Legend

- Storage
- Bedroom
- GIA boundary

Notes

Drawing based upon information provided by the Client.

Rev	Date	Notes	Name
-	04.01.2022	First issue	CH
A	10.01.2022	Updated to revised floor plans	CH



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Manchester
M3 5JZ
Liverpool
L3 5PF

T 0151 709 2897
T @drome-arch
E mail@drome-architects.com
W www.drome-architects.com

Project:	239-245 London Road
Client:	Mialex Limited
Drawing Title:	Proposed Fourth Floor Plan - NDSS
Drawing no:	2105-143
Status:	RIBA Stage 3 - Statutory Approval
Scale:	1:150 @ A3
Date:	04.01.2022
Issue:	Revision A - [10.01.2022] - CH
Drawn:	Chris Hatter



London Road Elevation



Queens Road Elevation

Proposed Materials:

1. PPC aluminium capping to match render colour
2. Fire rated PPC spandrel panel colour RAL 9011 Graphite
3. Proposed uPVC window colour Graphite
4. Render colour Granite
5. Fire rated PPC spandrel panel colour RAL 9011 Graphite
6. Metal railing colour to match render
7. Planting behind railing
8. Aluminium shadow gap and coping colour to match railing
9. Existing brickwork
10. Gutter and downpipes to match existing
11. Omitted
12. Powder-coated aluminium entrance door in anthracite grey
13. Timber fascia to match existing
14. New uPVC opening vent in graphite grey
15. New brick parapet. Brickwork to match existing

Rev	Date	Notes	Name
A	29.03.2022	Render removed following discussions with Case Officer	CH

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Manchester
M3 5JZ
Liverpool
L3 5PF

T 0151 709 2897

T @drome-arch

E mail@drome-architects.com

W www.drome-architects.com

Project:	239-245 London Road
Client:	Mialex Limited
Drawing Title:	Proposed Elevations 1
Drawing no:	2105-221
Status:	RIBA Stage 3 - Statutory Approval
Scale:	1:200 @ A3
Date:	22.12.2021
Issue:	Revision A - [29.03.2022] - CH
Drawn:	Chris Hatter



Car Park Elevation



Towards Chapel Steet Elevation

Proposed Materials:

- 1. PPC aluminium capping to match render colour
- 2. Fire rated PPC spandrel panel colour RAL 9011 Graphite
- 3. Proposed uPVC window colour Graphite
- 4. Render colour Granite
- 5. Fire rated PPC spandrel panel colour RAL 9011 Graphite
- 6. Metal railing colour to match render
- 7. Planting behind railing
- 8. Aluminium shadow gap and coping colour to match railing
- 9. Existing brickwork
- 10. Gutter and downpipes to match existing
- 11. Omitted
- 12. Powder-coated aluminium entrance door in anthracite grey
- 13. Timber fascia to match existing
- 14. New uPVC opening vent in graphite grey
- 15. New brick parapet. Brickwork to match existing

Rev	Date	Notes	Name
A	29.03.2022	Render removed following discussions with Case Officer	CH

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Manchester
M3 5JZ
Liverpool
L3 5PF

T 0151 709 2897
T @drome-arch
E mail@drome-architects.com
W www.drome-architects.com

Project:	239-245 London Road
Client:	Mialex Limited
Drawing Title:	Proposed Elevations 2
Drawing no:	2105-222
Status:	RIBA Stage 3 - Statutory Approval
Scale:	1:200 @ A3
Date:	22.12.2021
Issue:	Revision A - [29.03.2022] - CH
Drawn:	Chris Hatter



London Road Elevation

Rev	Date	Notes	Name
-	-	-	-

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M3 5JZ

Liverpool

L3 5PF

T 0151 709 2897

T @drome-arch

E mail@drome-architects.com

W www.drome-architects.com

Project:	239-245 London Road
Client:	Mialex Limited
Drawing Title:	Existing Street Scene - London Road
Drawing no:	2105-223
Status:	RIBA Stage 3 - Statutory Approval
Scale:	1:200 @ A3
Date:	01.02.2022
Issue:	Unrevised
Drawn:	Chris Hatter



London Road Elevation

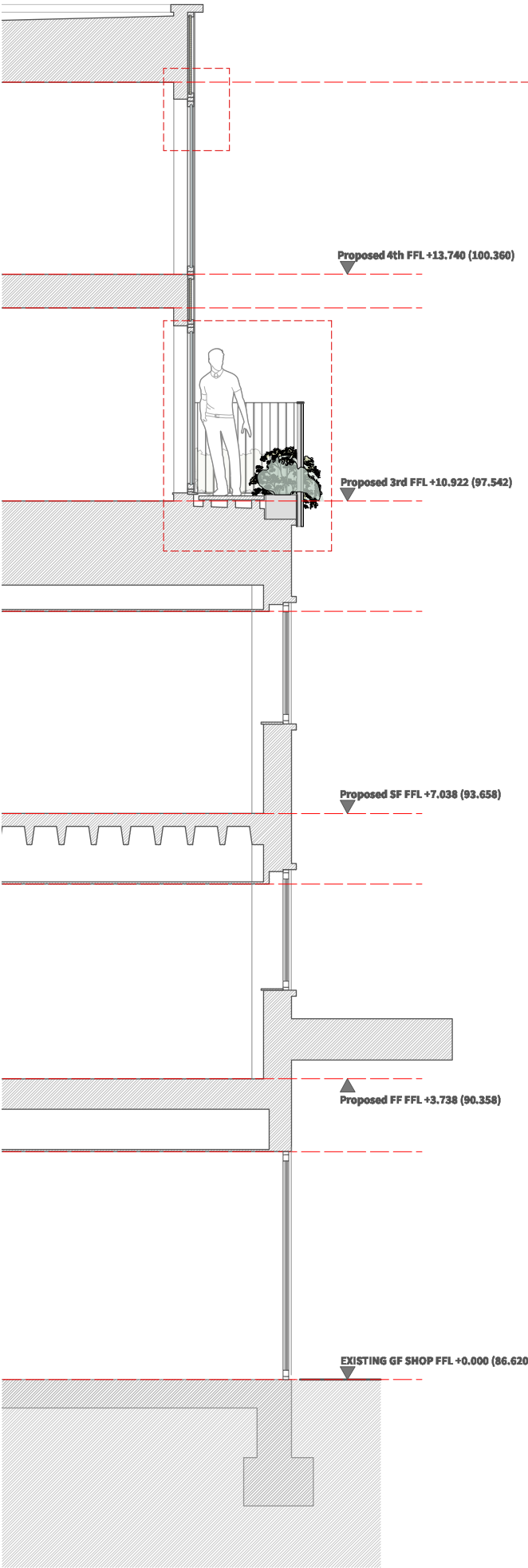
Rev	Date	Notes	Name
A	29.03.2022	Render removed following discussions with Case Officer	CH



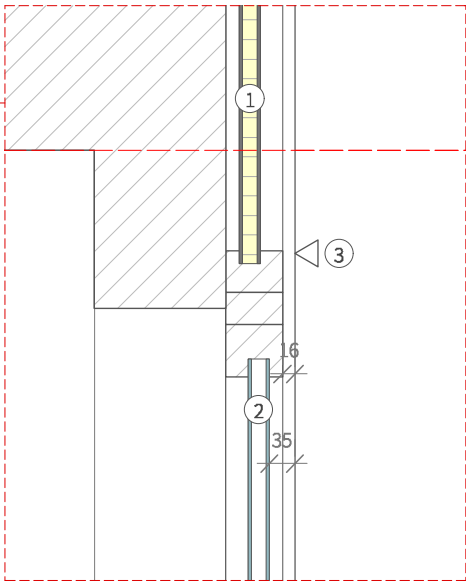
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M3 5JZ
Liverpool
L3 5PF

T 0151 709 2897
T @drome-arch
E mail@drome-architects.com
W www.drome-architects.com

Project:	239-245 London Road
Client:	Mialex Limited
Drawing Title:	Proposed Street Scene - London Road
Drawing no:	2105-224
Status:	RIBA Stage 3 - Statutory Approval
Scale:	1:200 @ A3
Date:	01.02.2022
Issue:	Revision A - [29.03.2022] - CH
Drawn:	Chris Hatter



Scale 1:75

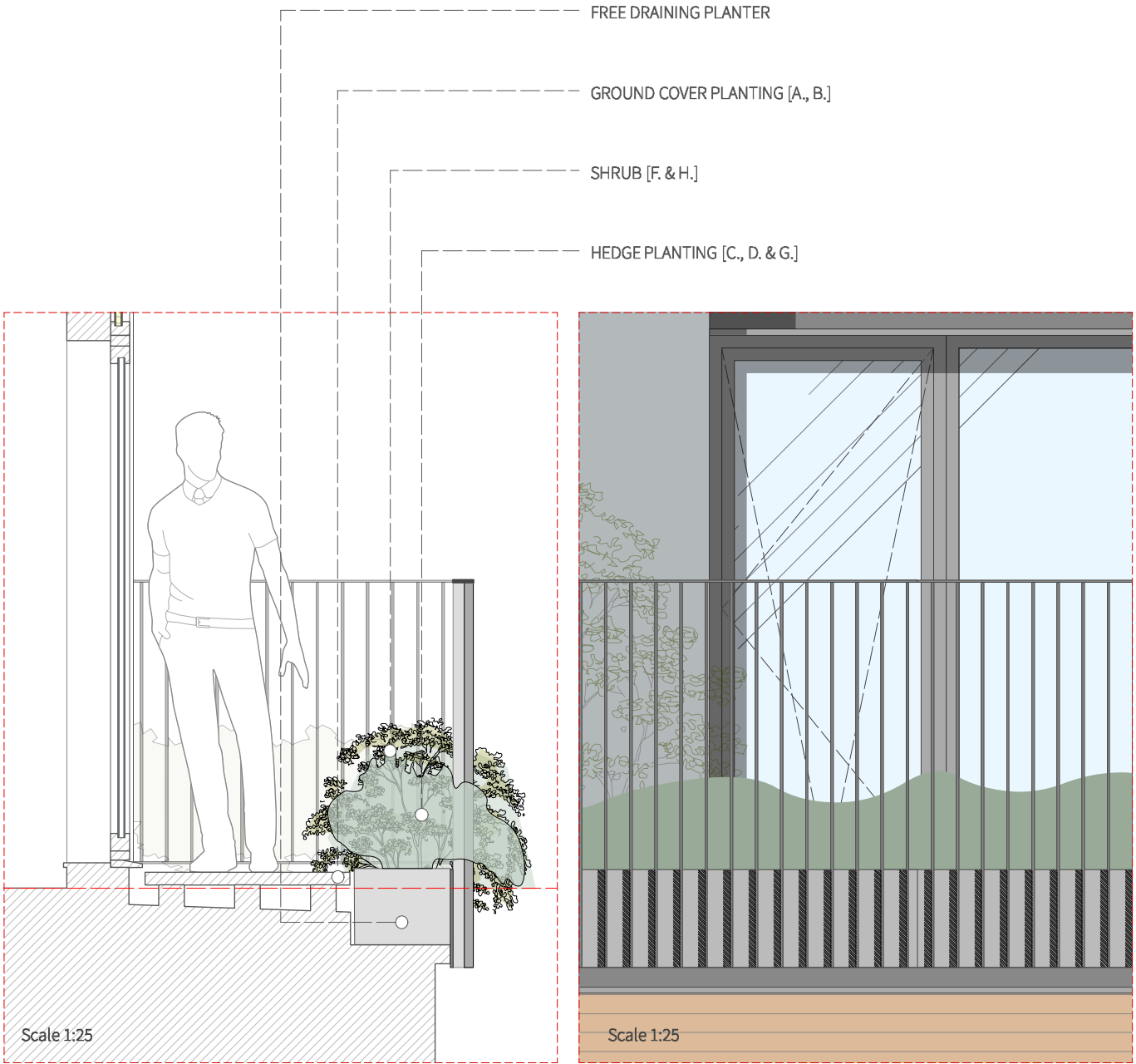


Spandrel Detail Scale 1:10

- 1. Fire rated PPC spandrel panel colour RAL 9011 Graphite
- 2. Proposed uPVC window colour Graphite
- 3. Front edge of wall



Section Key Scale 1:500



Rev	Date	Notes	Name
-	23.07.2021	First issue	CH
A	05.01.2022	Section key added, render added, railings shortened	CH
B	29.03.2022	Render removed	CH



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Manchester
M3 5JZ
Liverpool
L3 5PF

T 0151 709 2897

T @drome-arch

E mail@drome-architects.com

W www.drome-architects.com

Project:	239-245 London Road
Client:	RA London Road Limited
Drawing Title:	Proposed London Road Facade Section
Drawing no:	2105-303
Status:	RIBA Stage 3 - Statutory Approval
Scale:	1:50 @ A3
Date:	23.07.2021
Issue:	Revision B - [29.03.2022] - CH
Drawn:	Chris Hatter