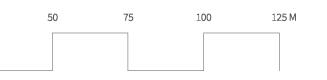


Rev	Date
-	11.02.2021
А	26.05.2021
В	10.06.2021
С	29.06.2021
D	22.12.2021
Е	31.01.2022



Project:	239-245 London Road
Client:	Mialex Limited
Drawing Title:	Site Location Plan
Drawing no:	2105-000
Status:	RIBA Stage 3 - Statuatory Approval
Scale:	1:1250 @ A3
Date:	11.02.2021
lssue:	Revision E - [31.01.2022] - CH
Drawn:	Chris Hatter



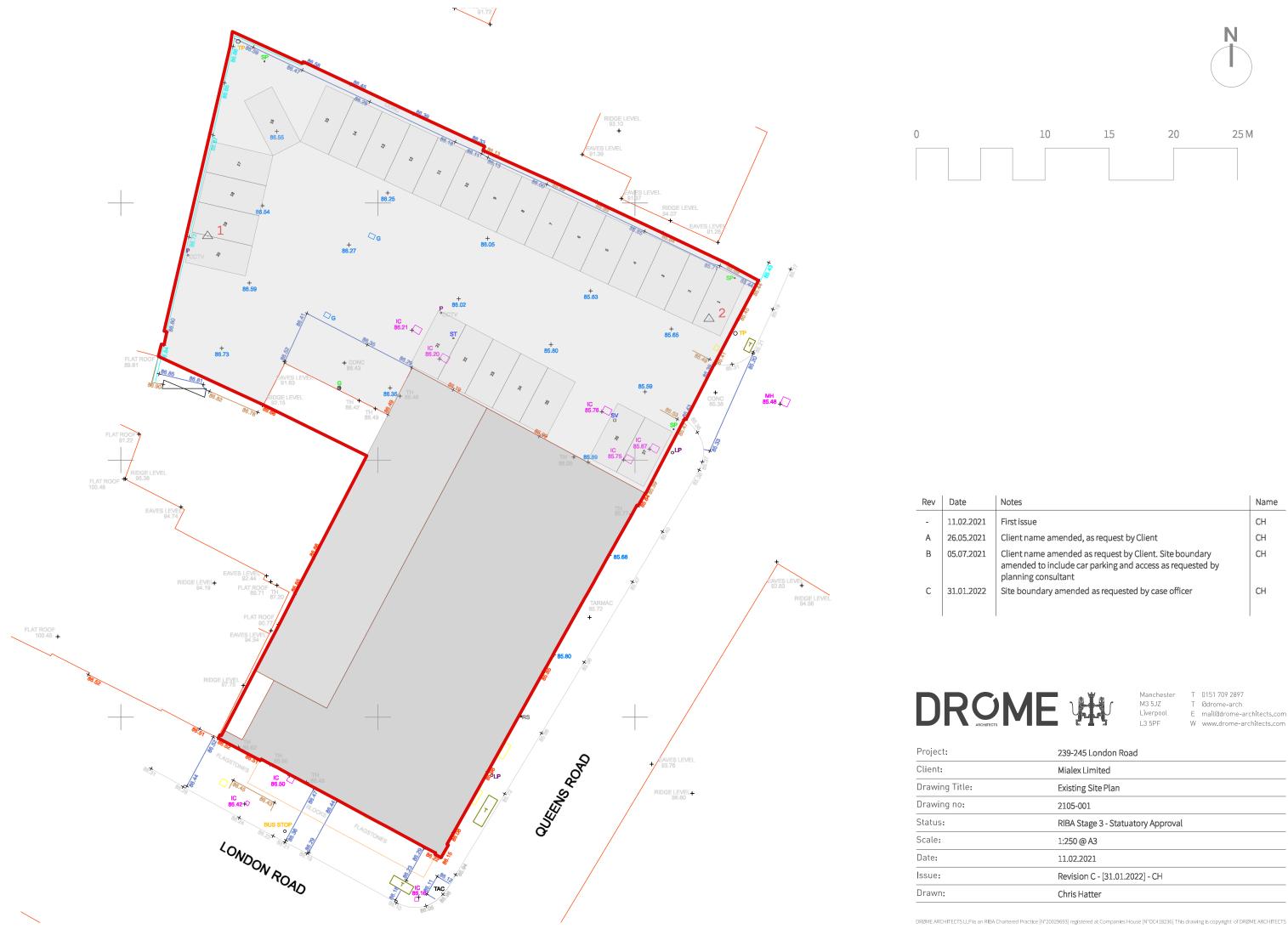


	Notes	Name
1	First issue	СН
1	Client name amended, as request by Client	СН
1	Site boundary amended to include car parking and access as requested by planning consultant	⊤к
1	Client name amended, as request by Client	СН
1	Site boundary amended as requested by case officer	⊤к
2	Title bar issue revision updated	СН

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Notes	Name
First issue	СН
Client name amended, as request by Client	СН
Client name amended as request by Client. Site boundary amended to include car parking and access as requested by planning consultant	СН
Site boundary amended as requested by case officer	СН

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239-245 London Road
Mialex Limited
Existing Site Plan
2105-001
RIBA Stage 3 - Statuatory Approval
1:250 @ A3
11.02.2021
Revision C - [31.01.2022] - CH
Chris Hatter



Note:

1. EV charging points. Spaces allocated for the development to be equipped with cable ducting for future retrofit.

2. CCTV to cover residential parking spaces.

3. Residential parking spaces demarcated with different colour surface treatment.

4. Collapsible, lockable bollards to the rear of each residential space

5. Refuse store to have a 2100mm high close-boarded timber fencing perimeter with a self-closing and 'slam and lock' gate.

No.4 1100L Eurobins for paper/card No.4 1100L Eurobins for glass & plastic No.4 1100L Eurobins for residual waste No.1 550L bin for food waste

6. Cycle store to be steel-framed construction with floor, walls and roof to be constructed from a minimum 11mm boards. Gate to be steel-framed, self-cosing and secured with a lock certificated to BS 3621. BROXAP Hi rise cycle storage system with BROXAP sheffield stand system, or similar and approved.

7. Ducting location for EV charging points.

8. Car parking demarcation will be by appropriate signage.

9. Full deatils of lanscaping to be provided separately via condition.

Key:

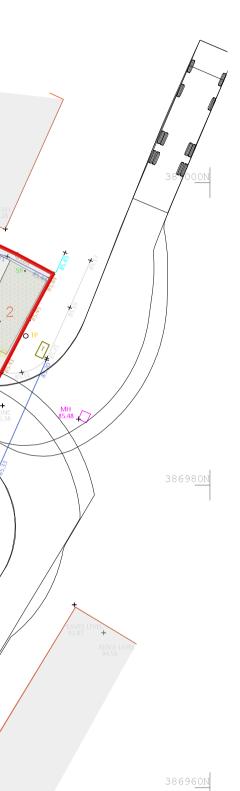
Commercial Unit Waste Deposit

Rev	Date	Notes				
A	05.07.2021	Client name amended as request by Client. Site boundary amended to include car parking and access as requested by planning consultant				
В	21.01.2022	Site boundary amended requested by Stockport MBC	СН			
С	21.01.2022	Disabled parking space and EV charging note added as requested by transport consultant				
D	 22.02.2022 Notes added regarding CCTV, surface treatment of parking spaces, collapsible bollards, refuse details and cycle store details as requested 					
E	30.03.2022	Roof amended and separation distances shown as requested by Case Officer. Green roof added as requested by the client. Change of page size to accommodate separation distances.				
F	30.03.2022	EV charging point shown. Bin store schedule shown. Accessible transfer space amended.				
G	31.03.2022	Illustrative landscaping shown.				
Н	20.04.2022	Separation distances shown as requested				
Ι	01.06.2022	Swept path illustrated. Landscaping omitted to provide access through to West car park. Bin/Bikestore amended to provide space for 26 bike spaces in total.	СТ			
0		10 15 20 25 M	N			

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Project:	239-245 London Road	
Client:	Mialex Limited	
Drawing Title:	Proposed Site Plan	
Drawing no:	2105-005	
Status:	RIBA Stage 3 - Statuatory Approval	
Scale:	1:250 @ A2	
Date:	25.05.2021	
lssue:	Revision I - [01.06.2022] - CT	
Drawn:	Chris Hatter	





38694<u>0N</u>

38702<u>0N</u>



Rev	Date	Notes		Name	
D	06.07.2021	Issued for Planning Submission			
E	22.07.2021	Material key added and balcony area annotated as requested by case officer			
F	21.12.2021	Set back to staircase as requested by Stockpor	Set back to staircase as requested by Stockport MBC		
G	10.01.2022	Apt 3.01, 3.05 & 3.06 shower room amended as	requested by client	СН	
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Project Client:	g Title:	A SJZ Liverpool L3 5PF 239-245 London Road Mialex Limited	T (ddrome-arch E mail(ddrome-a W www.drome-a		
Project Client: Drawin;	g Title:	A 35JZ Liverpool 239-245 London Road Mialex Limited Proposed Third Floor Plan - Ver	T (ddrome-arch E mail(ddrome-a W www.drome-a		
Project Client: Drawing Drawing	g Title:	A 35JZ Liverpool 239-245 London Road Mialex Limited Proposed Third Floor Plan - Ver 2105-124	T (ddrome-arch E mail(ddrome-a W www.drome-a		
Project Client: Drawin Drawin Status:	g Title:	A 35JZ Liverpool 35PF 239-245 London Road Mialex Limited Proposed Third Floor Plan - Ver 2105-124 RIBA Stage 3 - Statuatory Appro	T (ddrome-arch E mail(ddrome-a W www.drome-a		
Project Client: Drawin; Drawin; Status: Scale:	g Title:	All S JZ Liverpool 239-245 London Road L3 5PF All S JZ Liverpool Mialex Limited Proposed Third Floor Plan - Ver 2105-124 RIBA Stage 3 - Statuatory Approx 1:150 @ A3 All S JZ	T (ddrome-arch E mail(ddrome-a W www.drome-a		

Balcony deck area

Balustrade - open steel to allow planting to use as substratum

Area for soft ground cover

Drawing based upon information provided by the Client.



Fourth floor

4.01 //1B1P 4.02 //1B1P 4.03 //1B1P 4.04 //2B3P 4.05 //1B1P 4.06 //1B1P

Notes

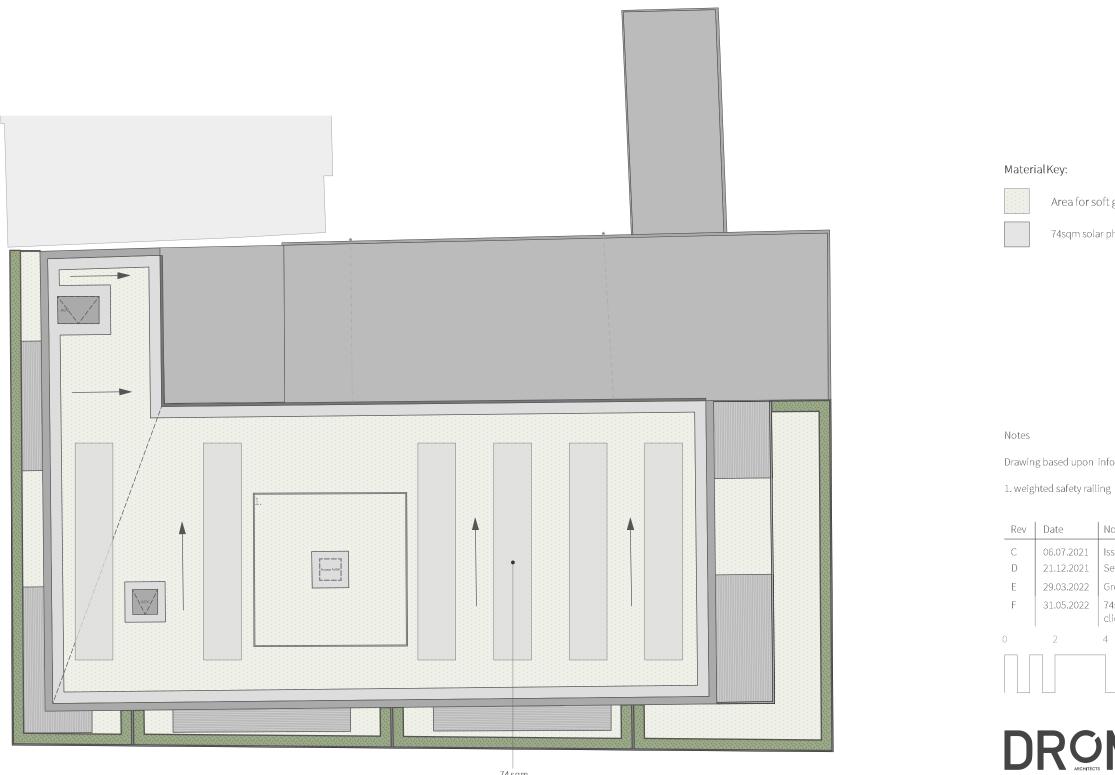
Drawing based upon information provided by the Client.

Rev Date D 06.07.2021 Е 22.07.2021 F 21.12.2021 G 10.01.2022



Project:
Client:
Drawing Title:
Drawing no:
Status:
Scale:
Date:
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Drawn:

	Notes				Name
L	Issued for Planning Submission				
L	Stairwell label	led as requested by cas	se officer		СН
L	Set back to sta	ircase as requested by	Stockport MB	С	тк
2	Apt 4.01, 4.05 &	& 4.06 shower room am	iended as requ	lested by client	СН
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	4 6	8 10	IVI		
			Manchester	T 0151 709 2897	
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		239-245 London Road	4		
		Mialex Limited			
		Proposed Fourth Floo	or Plan - Vertica	al Extension	
		2105-125			
		RIBA Stage 3 - Statuat	ory Approval		
		1:150 @ A3			
		21.05.2021			
		Revision G - [10.01.20	22] - CH		
		Chris Hatter			



74 sqm PV panels

Project: Client: Drawing Title: Drawing no: Status: Scale: Date: Issue: Drawn:

Area for soft ground cover

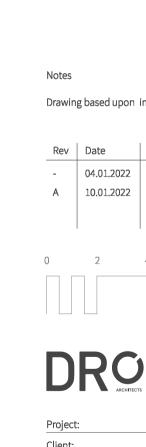
74sqm solar photovoltaic panels

Drawing based upon information provided by the Client.

Notes						Name
Issued for P Set back to	0		l by Stockport ME	BC		CH TK
Green roof:	shown as i	requested by	y client			СН
74sqm sola client	r photovo	ltaic panels a	added to roof as	requ	lested by	СТ
4	6	8	10 M			
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	Miale	Limited				

Mialex Limited
Proposed Roof Plan - Vertical Extension
2105-126
RIBA Stage 3 - Statuatory Approval
1:150 @ A3
21.05.2021
Revision F - [01.06.2022] - CT
Chris Hatter





Client:
Drawing Title:
Drawing no:
Status:
Scale:
Date:
lssue:
Drawn:

GIA boundary

NDSS Legend

Storage

Bedroom

Drawing based upon information provided by the Client.

	Notes				Name
2	First issue				СН
2	Updated to re	vised floor plans			CH
	4 6	8	10 M		
			Manchester M3 5JZ	0151 709 2897 @drome-arch	
TECT		- July	Liverpool L3 5PF	mail@drome-arc www.drome-arc	
		239-245 London	Road		
		Mialex Limited			
		Proposed Third F	Floor Plan - NDSS		
		2105-142			
		RIBA Stage 3 - Sta	atuatory Approval		
		1:150 @ A3			
		04.01.2022			
		-	1.2022] - CH		
		04.01.2022	1.2022] - CH	 	



Rev	Date	Notes					Name
-	04.01.2022	First issue					СН
А	10.01.2022	Updated to rev	ised floor plans/				СН
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			220 245 Landard	D			
Project	••		239-245 London	Road			
Client:			Mialex Limited				
Drawin	g Title:		Proposed Fourth	Floor Plan - NDSS			
Drawin	g no:		2105-143				
Status:			RIBA Stage 3 - Sta	atuatory Approval			
Scale: 1:150@A3							
Date:			04.01.2022				
lssue:			Revision A - [10.0	1.2022] - CH			
Drawn:			Chris Hatter				

Drawing based upon information provided by the Client.





London Road Elevation

Queens Road Elevation

Proposed Materials:

- 1. PPC aluminium capping to match render colour
- 2. Fire rated PPC spandrel panel colour RAL 9011 Graphite
- 3. Proposed uPVC window colour Graphite
- 4. Render colour Granite
- 5. Fire rated PPC spandrel panel colour RAL 9011 Graphite
- 6. Metal railing colour to match render
- 7. Planting behind railing
- 8. Aluminium shadow gap and coping colour to match railing
- 9. Existing brickwork
- 10. Gutter and downpipes to match existing 11. Omitted
- 12. Powder-coated aluminium entrance door in anthracite grey
- 13. Timber fascia to match existing
- 14. New uPVC opening vent in graphite grey
- 15. New brick parapet. Brickwork to match existing

Rev Date

А

Project:
Client:
Drawing Title:
Drawing no:
Status:
Scale:
Date:
lssue:
Drawn:



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239-245 London Road
Mialex Limited
Proposed Elevations 1
2105-221
RIBA Stage 3 - Statutory Approval
1:200 @ A3
22.12.2021
Revision A - [29.03.2022] - CH
Chris Hatter





Car Park Elevation

Towards Chapel Steet Elevation

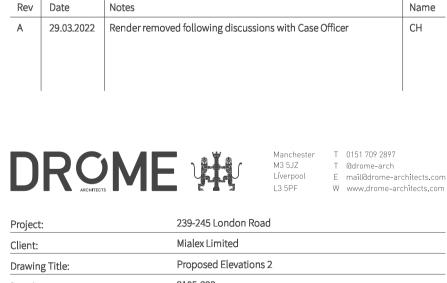
Proposed Materials:

- 1. PPC aluminium capping to match render colour
- 2. Fire rated PPC spandrel panel colour RAL 9011 Graphite
- 3. Proposed uPVC window colour Graphite
- 4. Render colour Granite
- 5. Fire rated PPC spandrel panel colour RAL 9011 Graphite
- 6. Metal railing colour to match render
- 7. Planting behind railing
- 8. Aluminium shadow gap and coping colour to match railing
- 9. Existing brickwork
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- 12. Powder-coated aluminium entrance door in anthracite grey
- 13. Timber fascia to match existing
- 14. New uPVC opening vent in graphite grey
- 15. New brick parapet. Brickwork to match existing

Rev Date

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Project:
Client:
Drawing Title:
Drawing no:
Status:
Scale:
Date:
Issue:
Drawn:



2105-222
RIBA Stage 3 - Statutory Approval
1:200 @ A3
22.12.2021
Revision A - [29.03.2022] - CH
Chris Hatter



London Road Elevation

Rev	Date	Notes	Name	Project:
-	-	-	-	Client:
				Drawing Title:
				Drawing no:
				Status:
				Scale:

Date: Issue: Drawn:



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239-245 London Road
Mialex Limited
Existing Street Scene - London Road
2105-223
RIBA Stage 3 - Statutory Approval
1:200 @ A3
01.02.2022
Unrevised
Chris Hatter



Rev А

London Road Elevation

Date	Notes	Name	Project:
29.03.2022	Render removed following discussions with Case Officer	СН	Client:
			Drawing Ti
			Drawing no
			Status:
			Scale:

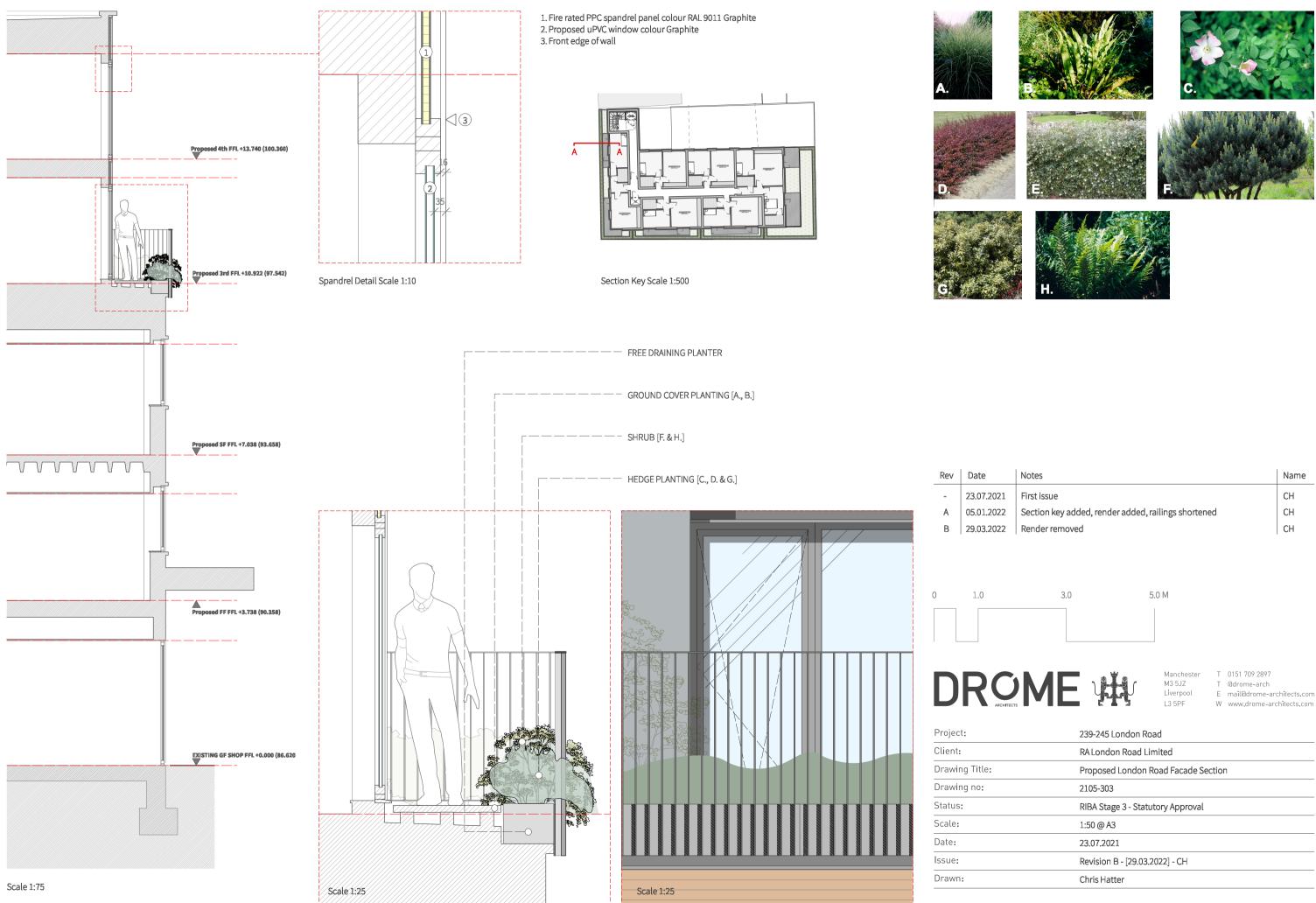
Date: Issue: Drawn:



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239-245 London Road
Mialex Limited
Proposed Street Scene - London Road
2105-224
RIBA Stage 3 - Statutory Approval
1:200 @ A3
01.02.2022
Revision A - [29.03.2022] - CH
Chris Hatter



Notes	Name
First issue	СН
Section key added, render added, railings shortened	СН
Render removed	СН

239-245 London Road
RA London Road Limited
Proposed London Road Facade Section
2105-303
RIBA Stage 3 - Statutory Approval
1:50 @ A3
23.07.2021
Revision B - [29.03.2022] - CH
Chris Hatter