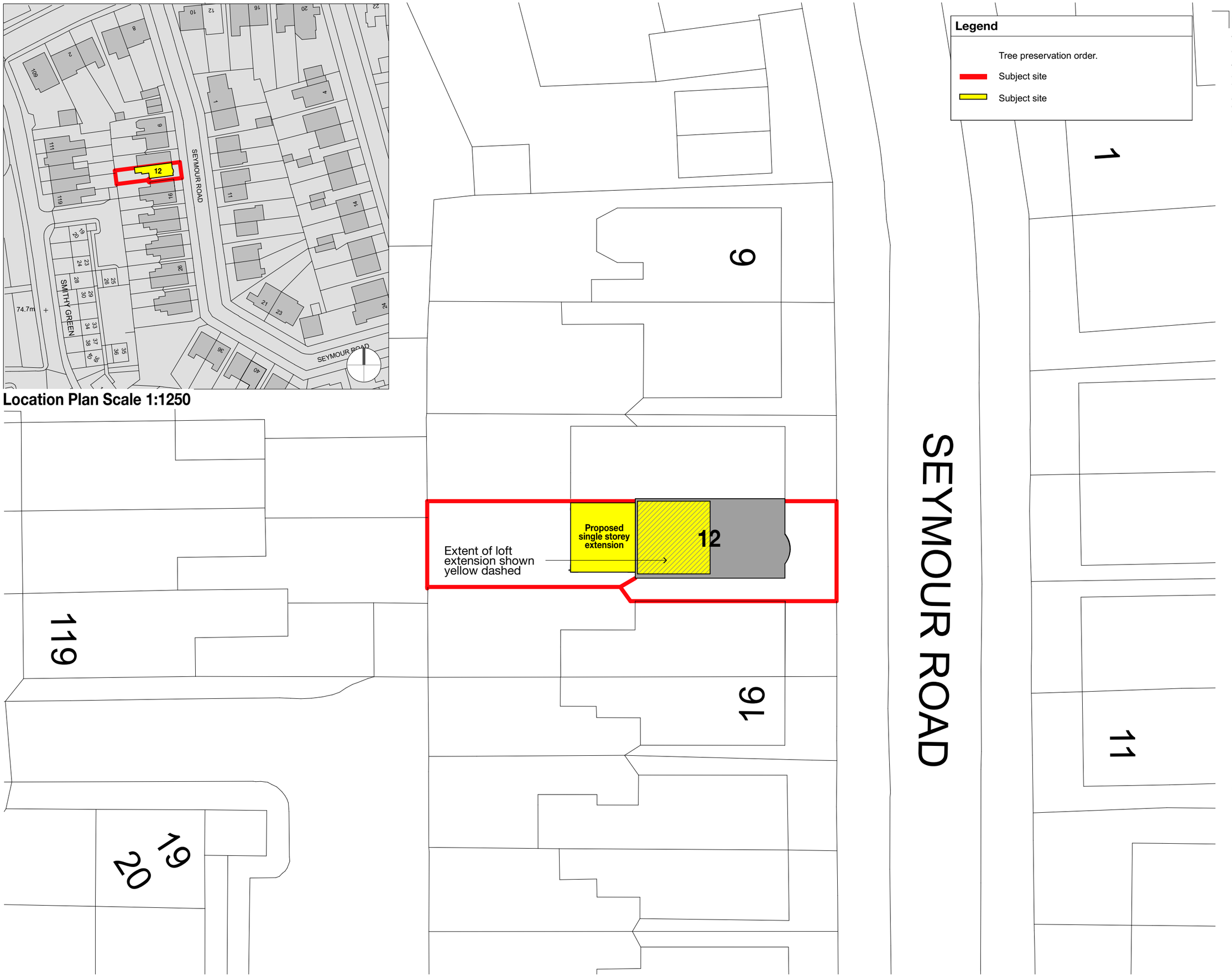
Location Plan Scale 1:1250



Legend

Tree preservation order.

Subject site

Subject site

NOTES

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Issue/ Rev	Description	Date
#	Initial Issue	30.06.20

CUBIK DESIGN LTD

07940 123 631
info@cubikdesign.co.uk

FOR PLANNING/ BUILDING CONTROL APPROVAL

Client

Porter Property Investments

Project Description

12 Seymour Road, Cheadle

Project Number **SEY012**

Drawing Title

Site Plan & Location Plan - Proposed

Drawing Number **TP01**

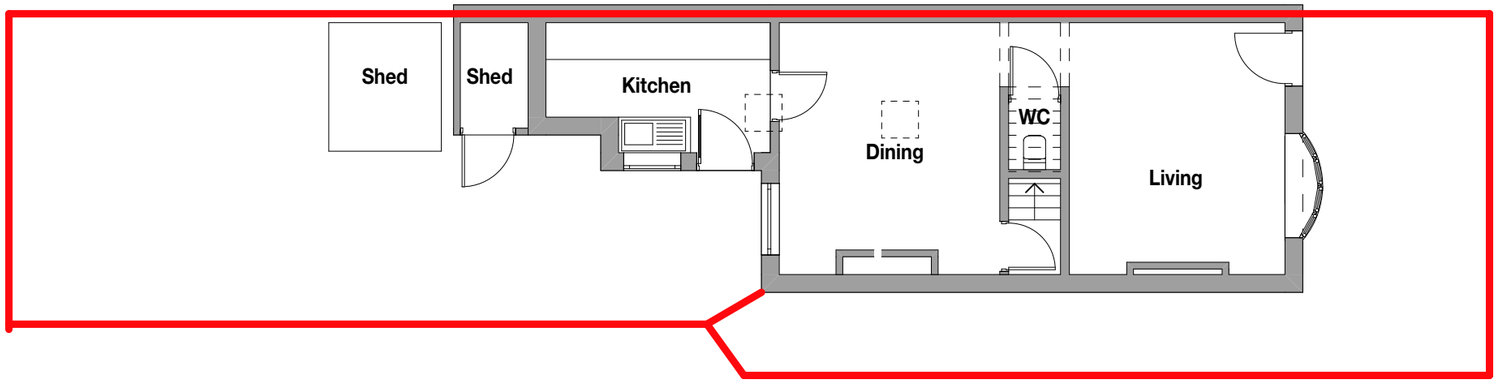
Scale **1:200 @ A3**

Legend

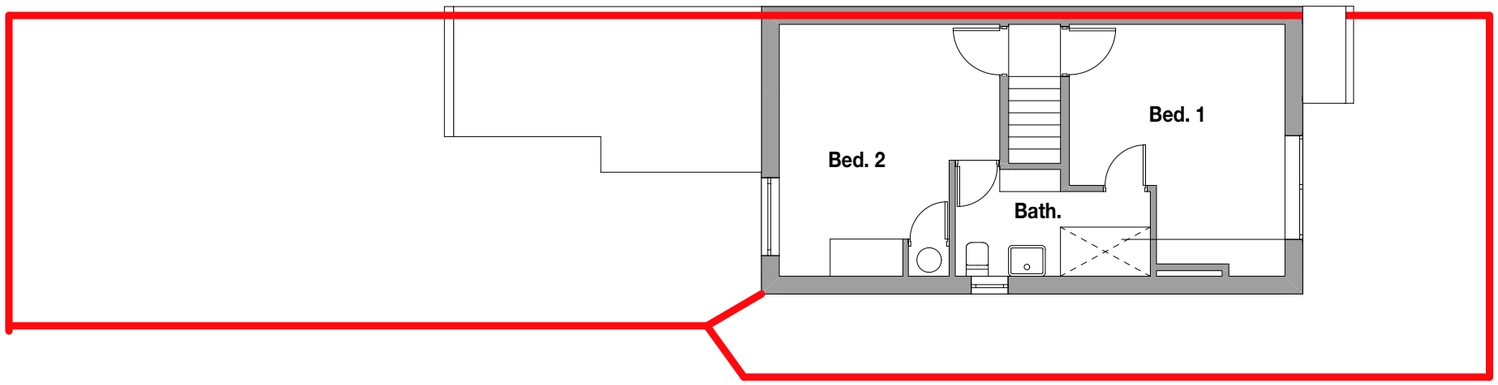
existing to be removed

IMPORTANT NOTE

All items to be removed are hatched for illustrative purposes only. Refer to structural engineering drawings for details prior to removal of all walls, flooring, roofing etc.



Existing - Ground Floor Plan



Existing - First Floor Plan

NOTES

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Issue/ Rev	Description	Date
#	Initial Issue	30.06.20

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FOR PLANNING/ BUILDING CONTROL APPROVAL

Client

Porter Property Investments

Project Description

12 Seymour Road, Cheadle

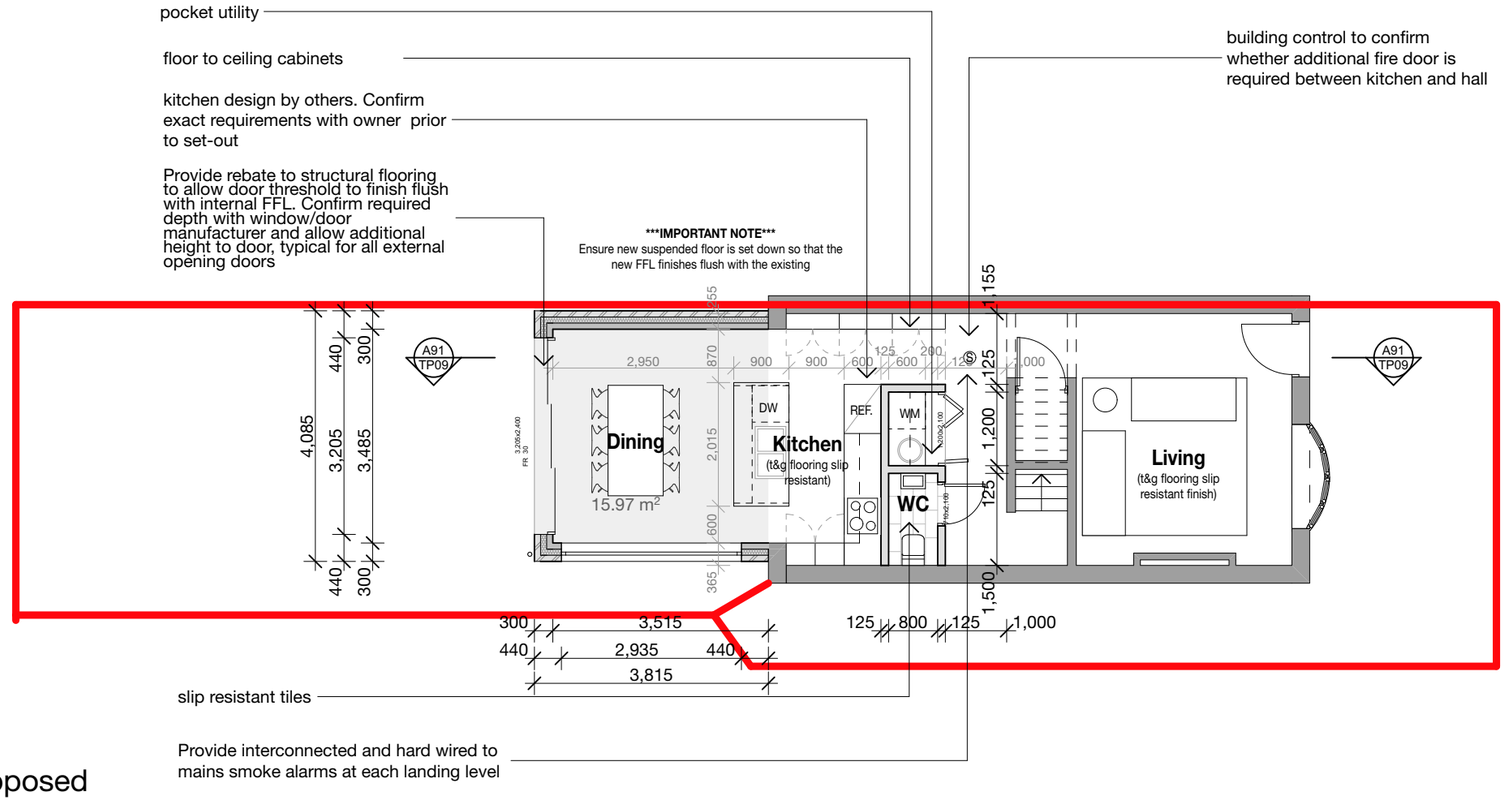
Project Number **SEY012**

Drawing Title

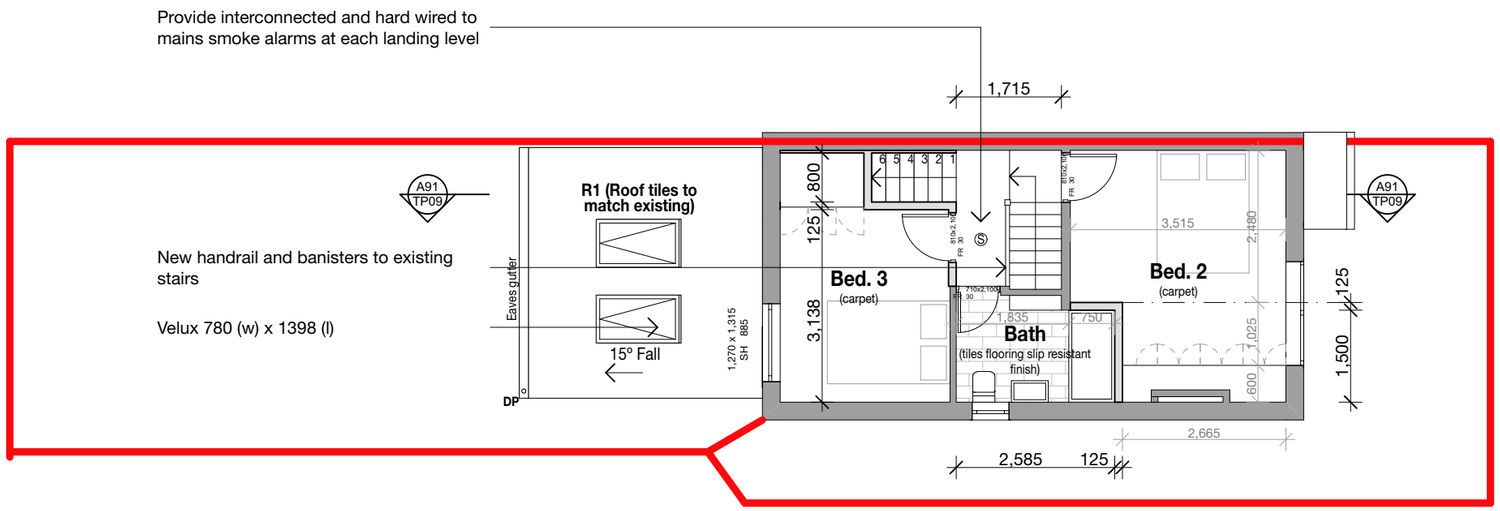
Plans - Existing

Drawing Number **TP02**

Scale **1:100 @ A3**



Ground Floor Plan - Proposed



First Floor Plan - Proposed

Legend

ref.	Refrigerator	st	Store	R1	Roof Type 1
wo.	Wall oven	wir	Walk in wardrobe	DP	Downpipe
dw	Dishwasher	hc	Hosecock	OP	Overflow pop
shr.	Shower	W1	Wall type 1	HOP	Hopper
s	Sink	W2	Wall type 2	FG	Floor gully
t	Laundry tub	PS	plumbing stack	WIR	Walk in wardrobe
vb	Vanity basin	MF	metal flashing		

Refer to General Notes For Details

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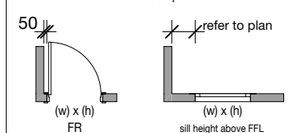
- Confirm all finishes and materials with owner.
- Provide DPC 150mm min. above natural ground to all masonry walls.
*****All works to be constructed in accordance with accredited construction details*****

Notes on setting out

All opening sizes are to structural openings
FR = Fire rated door where required



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Issue/ Rev	Description	Date
#	Initial Issue	30.06.20

CUBIK DESIGN LTD
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FOR PLANNING/ BUILDING CONTROL APPROVAL

Client
Porter Property Investments

Project Description
12 Seymour Road, Cheadle

Project Number **SEY012**

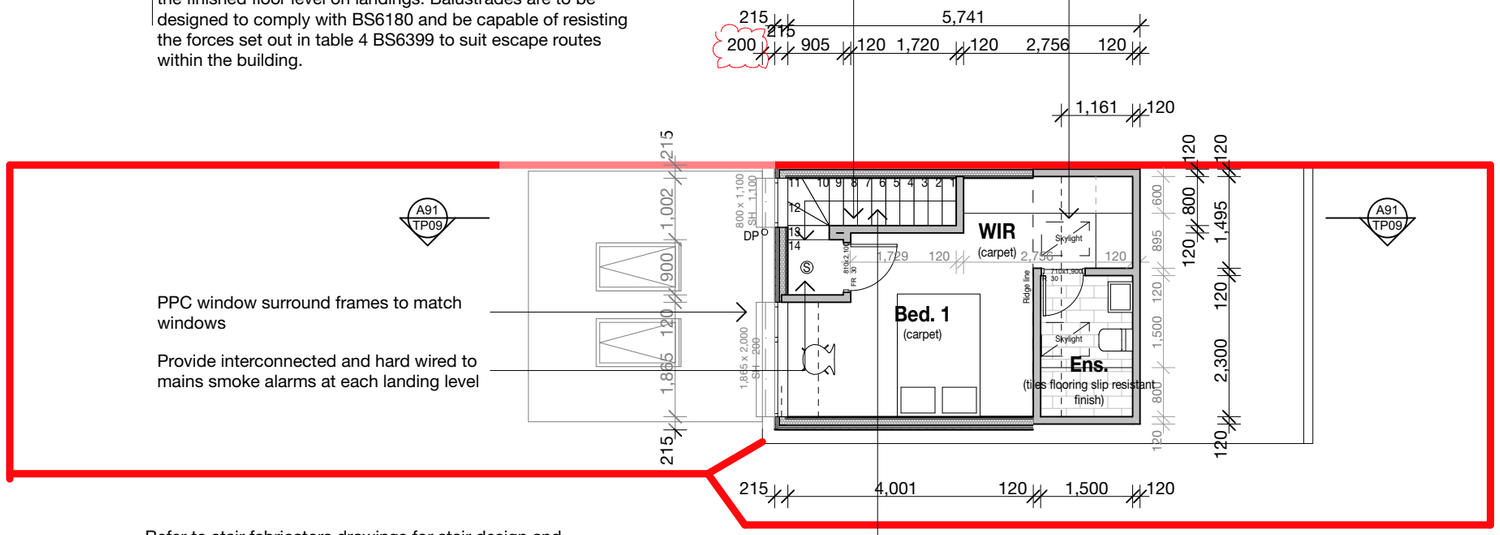
Drawing Title
Plans - Proposed Ground & First Floor Plan

Drawing Number **TP05**

Scale **1:100 @ A3**

Velux roof window 550 (w) x 780 (l) above shown dashed

Provide handrail to new dormer stairs. Final details of handrail and staircase as developed by the specialist fabricator to be submitted for comment / approval to building control prior to fabrication. Ensure all balustrades to stair flights are min. 900mm above the pitch line of the stairs and 1100mm above the finished floor level on landings. Balustrades are to be designed to comply with BS6180 and be capable of resisting the forces set out in table 4 BS6399 to suit escape routes within the building.



PPC window surround frames to match windows

Provide interconnected and hard wired to mains smoke alarms at each landing level

Refer to stair fabricators drawings for stair design and detail. Contractor to ensure final design complies with the requirements of Approved Documents K and M of the Building Regulations and the relevant British Standards. All stair risers and goings in accordance with Approved Document K, table 1.1 of the Building Regulations - Private Stair. Stair construction generally in accordance with Approved Document K, Section 1: Stairs and ladder:

Rise – Min. 150mm	Max. 220mm
Going - Min. 220mm	Max. 300mm
Max pitch for stairs is 42°	

Proposed Loft Plan

NOTES

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Issue/ Rev	Description	Date
#	Initial Issue	30.06.20
A	Amendment A - dormer set back increased to 200mm from eaves and slate colour changed to dark at the request of SCC	06.09.20

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FOR PLANNING/ BUILDING CONTROL APPROVAL

Client

Porter Property Investments

Project Description

12 Seymour Road, Cheadle

Project Number **SEY012**

Drawing Title

Plans - Proposed Loft Plan

Drawing Number **TP06**

Scale **1:100 @ A3**

Legend

existing to be removed

IMPORTANT NOTE

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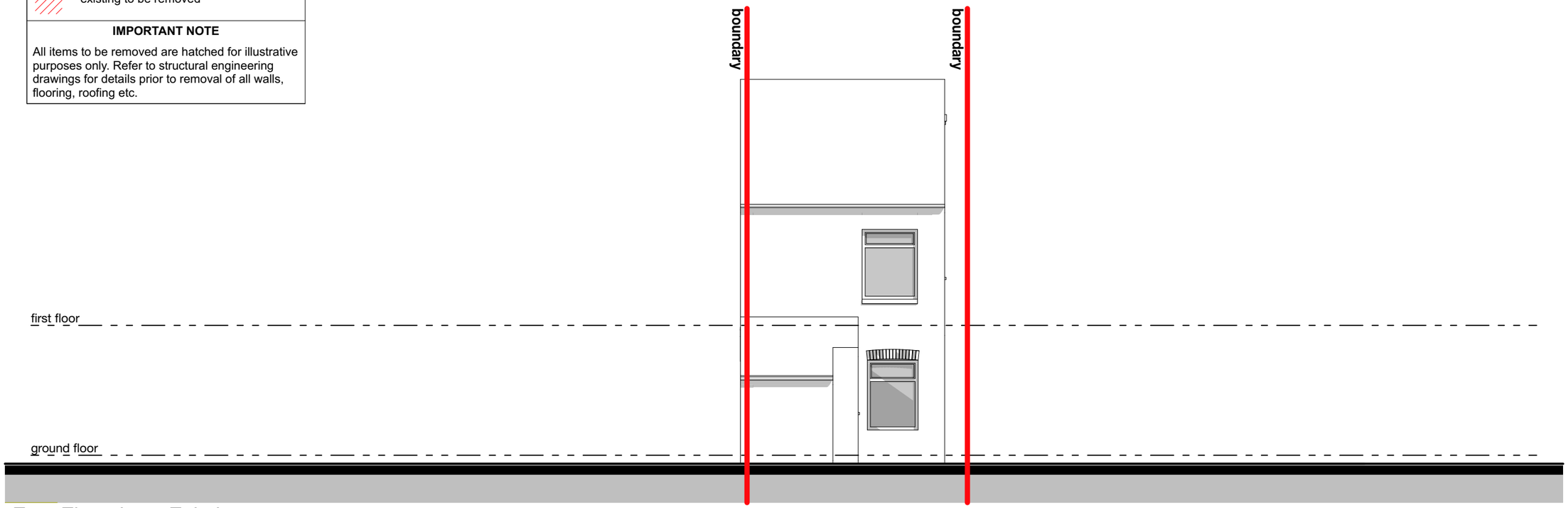
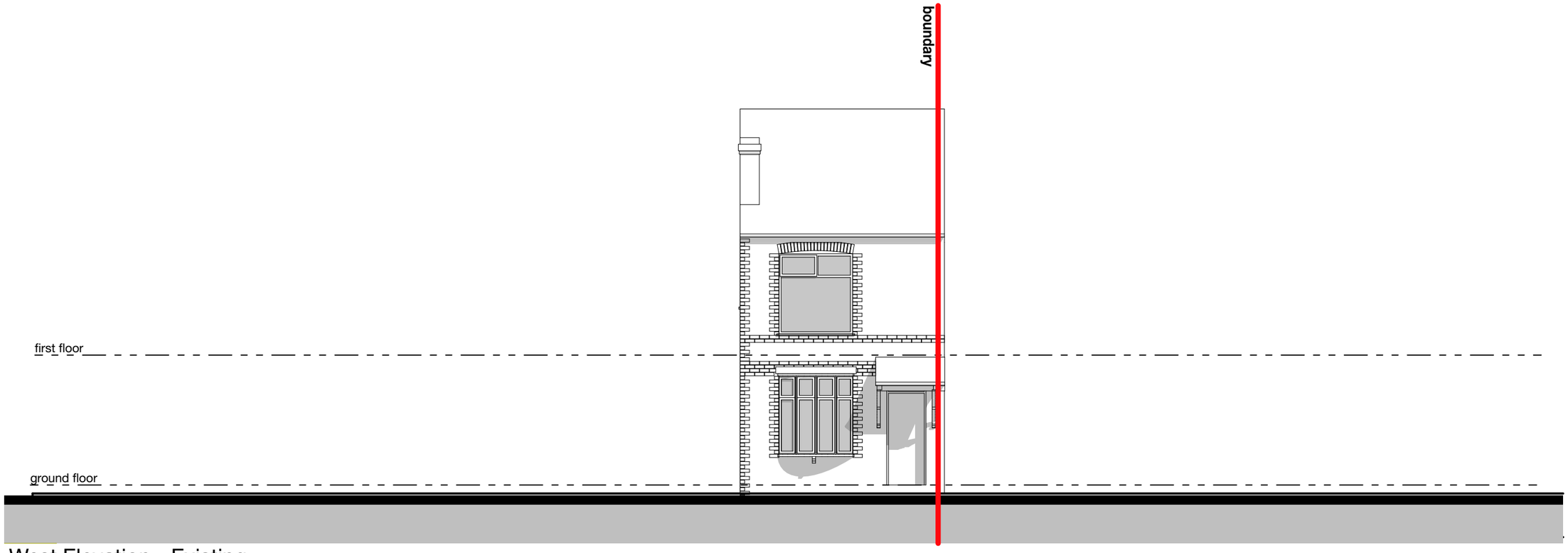


East Elevation - Existing



West Elevation - Existing

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Issue/ Rev	Description	Date
#	Initial Issue	30.06.20

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FOR PLANNING/ BUILDING CONTROL APPROVAL

Client

Porter Property Investments

Project Description

12 Seymour Road, Cheadle

Project Number **SEY012**

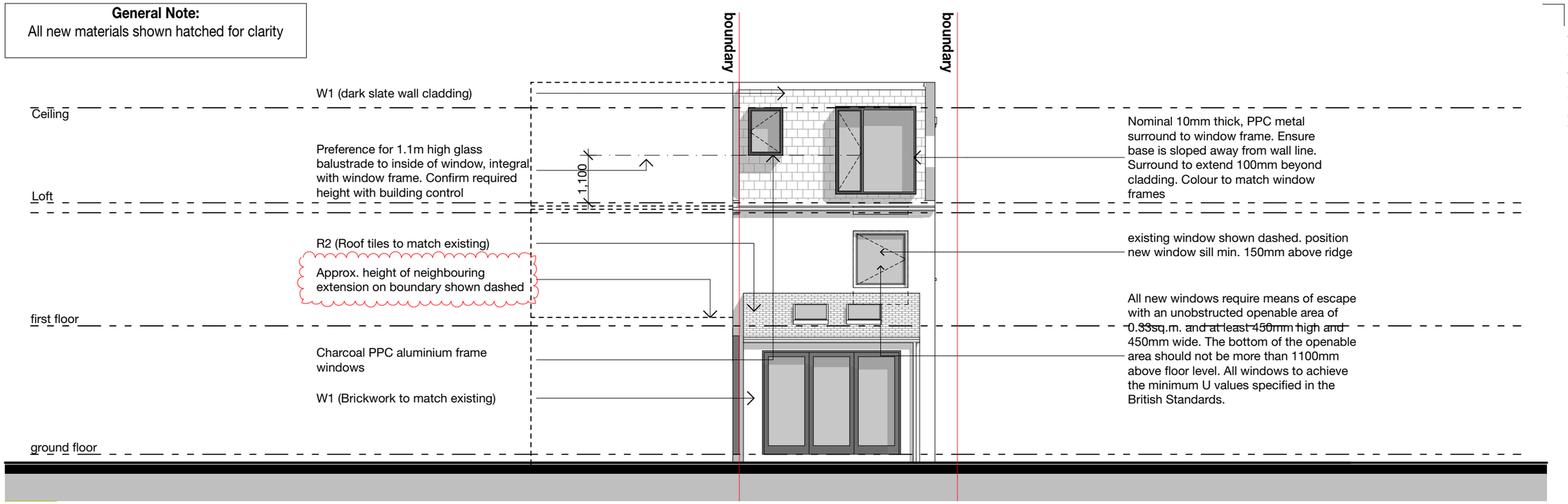
Drawing Title

Elevations - Existing

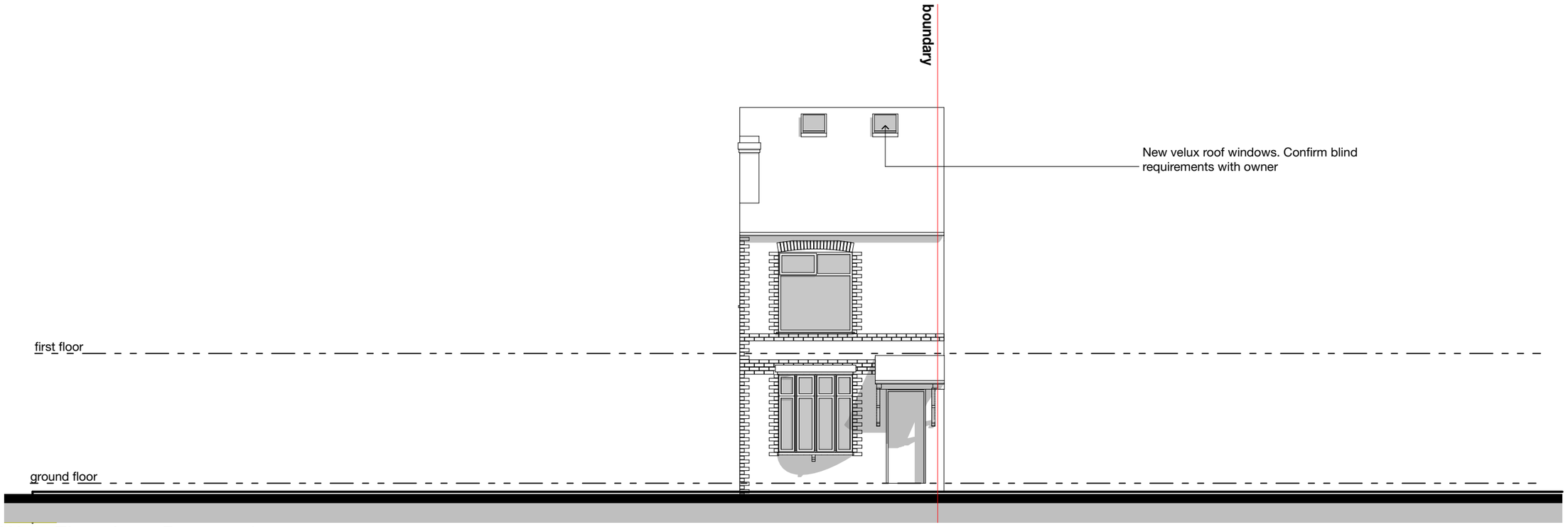
Drawing Number **TP04**

Scale **1:100 @ A3**

General Note:
All new materials shown hatched for clarity



East Elevation - Proposed



West Elevation - Proposed

Legend

ref.	Refrigerator	st	Store	R1	Roof Type 1
wo.	Wall oven	wir	Walk in wardrobe	DP	Downpipe
dw	Dishwasher	hc	Hosecock	OP	Overflow pop
shr.	Shower	W1	Wall type 1	HOP	Hopper
s	Sink	W2	Wall type 2	FG	Floor gully
t	Laundry tub	PS	plumbing stack	WIR	Walk in wardrobe
vb	Vanity basin	MF	metal flashing		

Refer to General Notes For Details

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Notes

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- Confirm all finishes and materials with owner.
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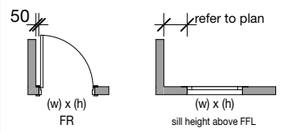
*****All works to be constructed in accordance with accredited construction details*****

Notes on setting out

All opening sizes are to structural openings
FR = Fire rated door where required



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Issue/ Rev	Description	Date
#	Initial Issue	30.06.20
A	Amendment A - dormer set back increased to 200mm from eaves and slate colour changed to dark at the request of SCC	06.09.20
B	Amendment B - Approx. height of neighbouring extension added to plans at the request of SCC	21.09.20

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FOR PLANNING/ BUILDING CONTROL APPROVAL

Client
Porter Property Investments

Project Description
12 Seymour Road, Cheadle

Project Number **SEY012**

Drawing Title
Elevations - Proposed

Drawing Number **TP08**
Scale **1:100 @ A3**

Legend

existing to be removed

IMPORTANT NOTE

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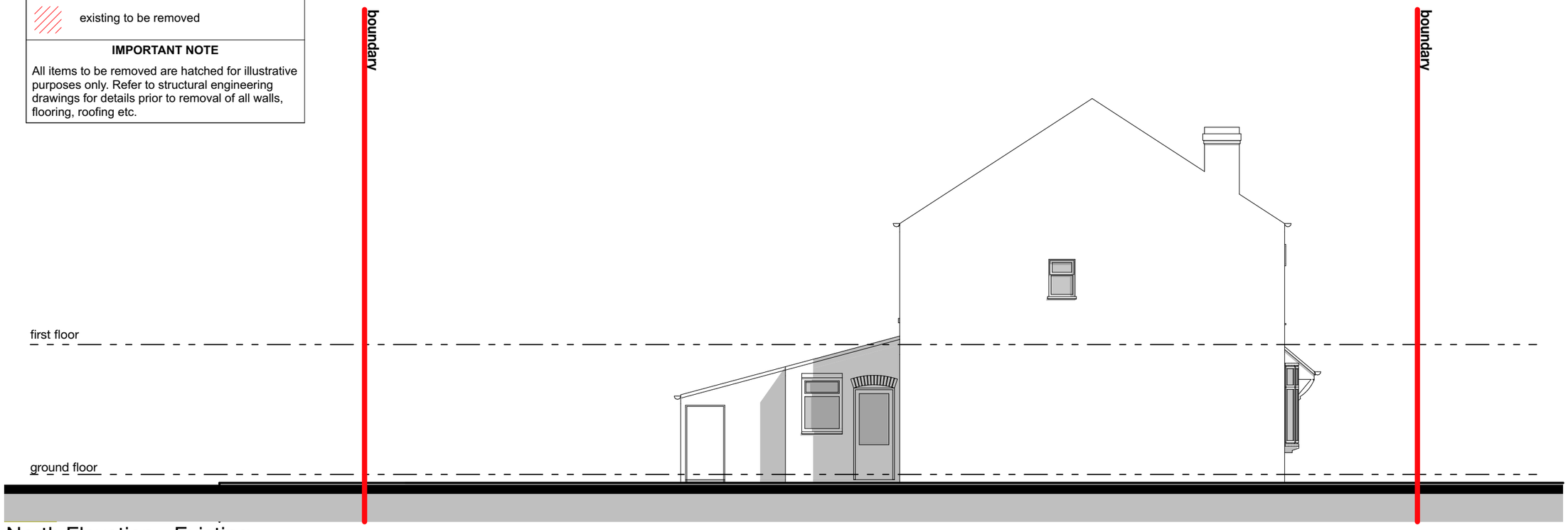
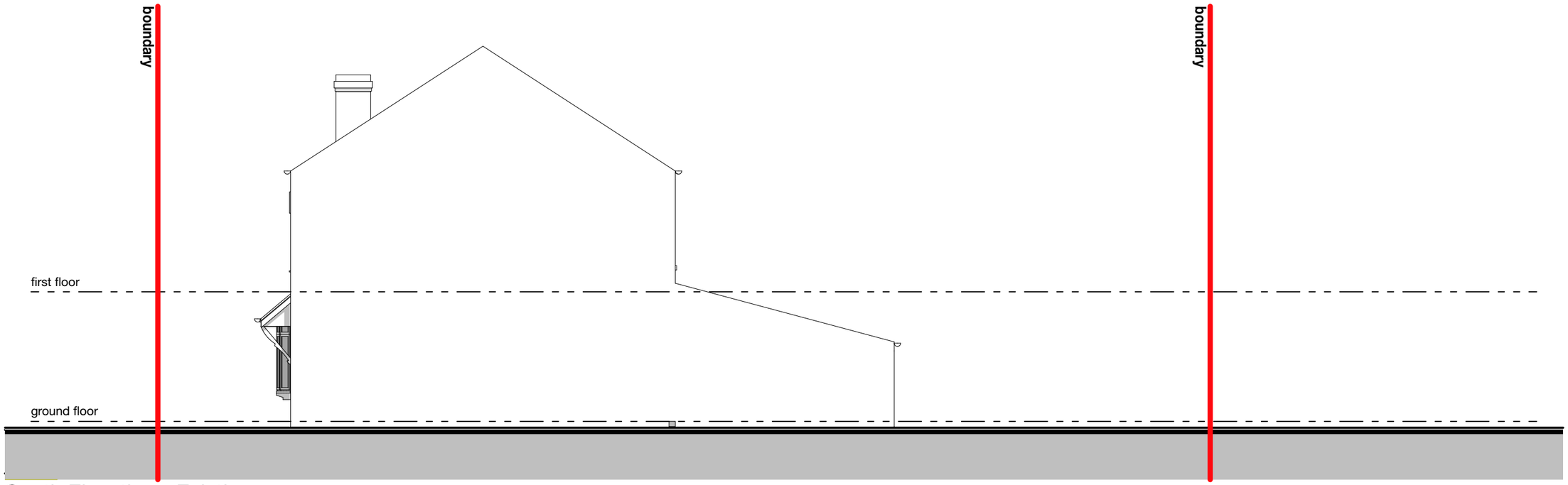


North Elevation - Existing



South Elevation - Existing

NOTES

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Issue/ Rev	Description	Date
#	Initial Issue	30.06.20

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FOR PLANNING/ BUILDING CONTROL APPROVAL

Client

Porter Property Investments

Project Description

12 Seymour Road, Cheadle

Project Number **SEY012**

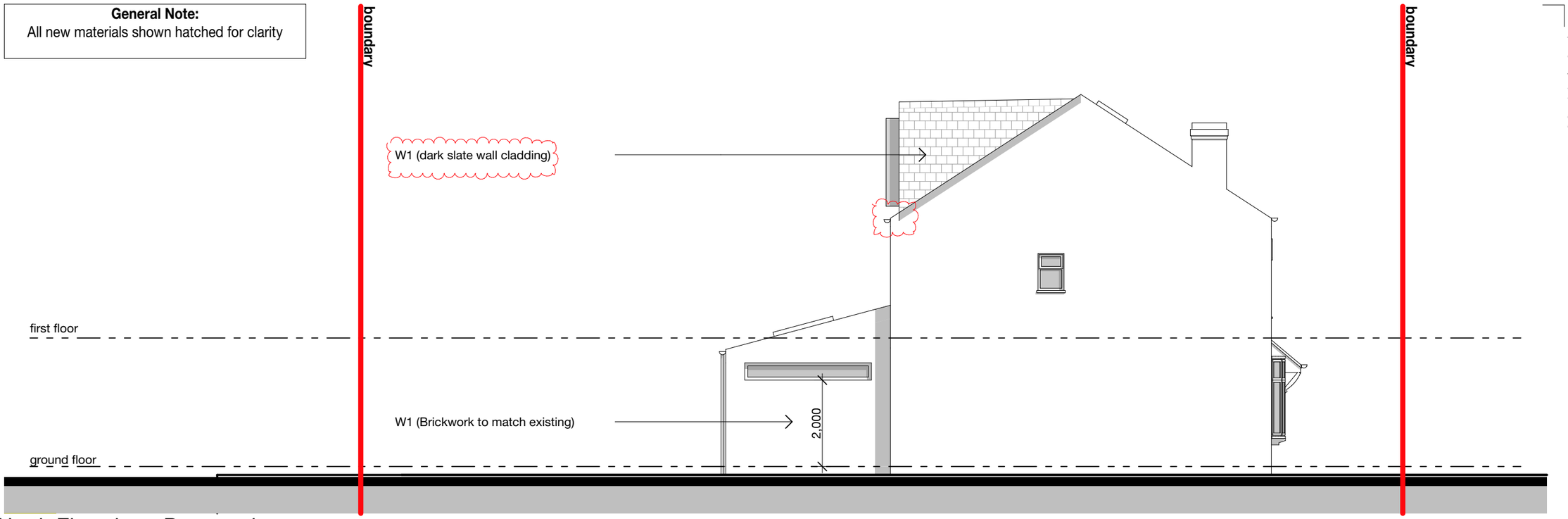
Drawing Title

Elevations - Existing

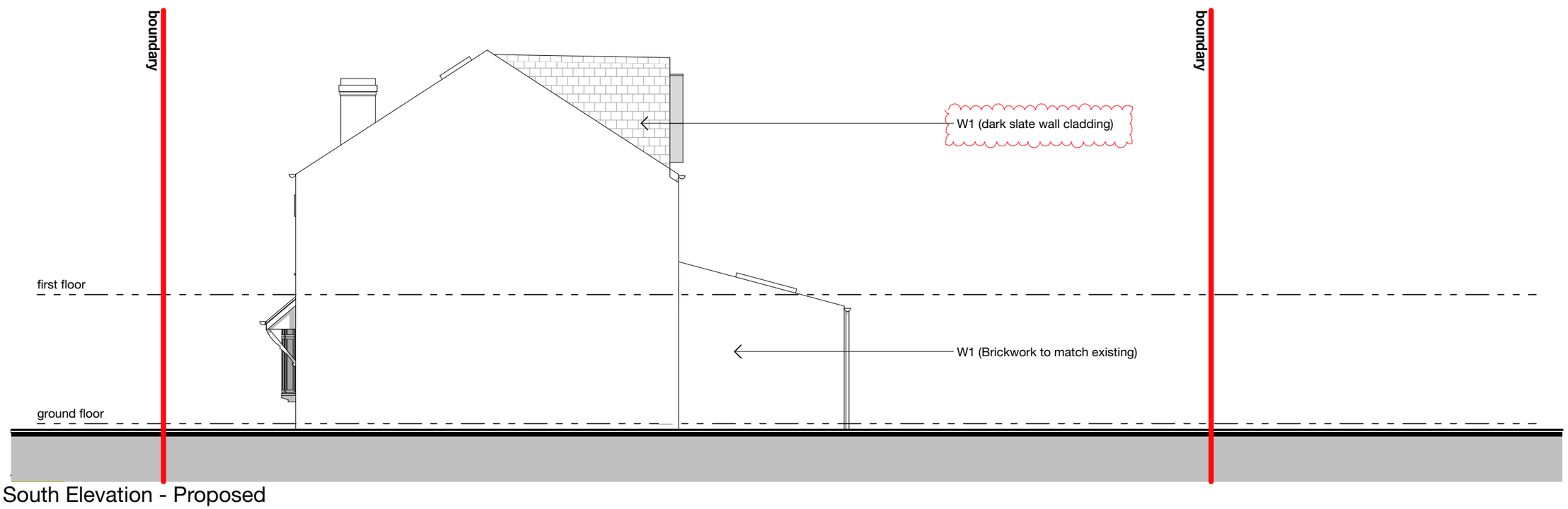
Drawing Number **TP03**

Scale **1:100 @ A3**

General Note:
All new materials shown hatched for clarity



North Elevation - Proposed



South Elevation - Proposed

Legend

ref.	Refrigerator	st	Store	R1	Roof Type 1
wo.	Wall oven	wir	Walk in wardrobe	DP	Downpipe
dw	Dishwasher	hc	Hosecock	OP	Overflow pop
shr.	Shower	W1	Wall type 1	HOP	Hopper
s	Sink	W2	Wall type 2	FG	Floor gully
t	Laundry tub	PS	plumbing stack	WIR	Walk in wardrobe
vb	Vanity basin	MF	metal flashing		

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Notes on setting out

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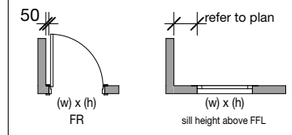

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Issue/ Rev	Description	Date
#	Initial Issue	30.06.20
A	Amendment A - dormer set back increased to 200mm from eaves and slate colour changed to dark at the request of SCC	06.09.20

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FOR PLANNING/ BUILDING CONTROL APPROVAL

Client
Porter Property Investments

Project Description
12 Seymour Road, Cheadle

Project Number **SEY012**

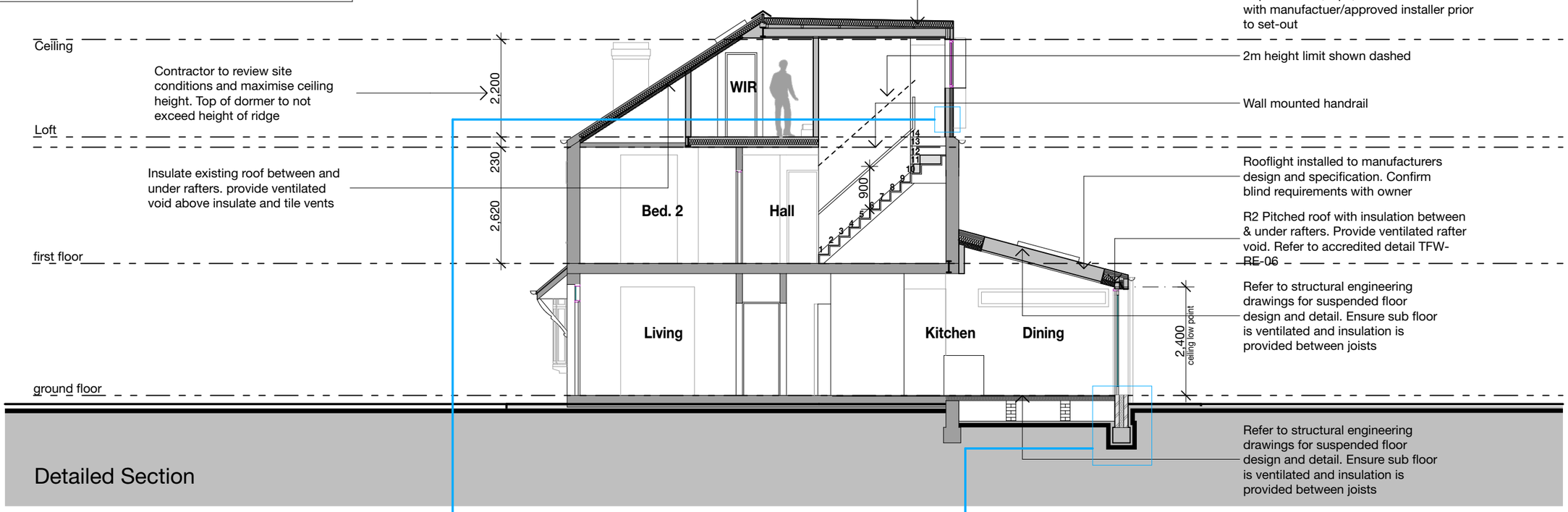
Drawing Title
Elevations - Proposed

Drawing Number **TP07**

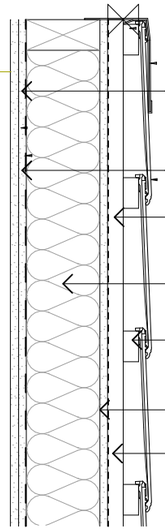
Scale **1:100 @ A3**

****NOTE****

- perspectives are provided for visual aid only. Refer to drawings for all information.



Detailed Section



Nominal 15mm thick plasterboard lining. Use moisture resistant board for wet areas. Contractor to confirm requirements for double boarding with building control for walls on boundary

Vapour Control Layer

Nominal 50 x 25mm S.W. top tiling batten placed and fixed to suit situation

Wall insulation. Refer to specification for details

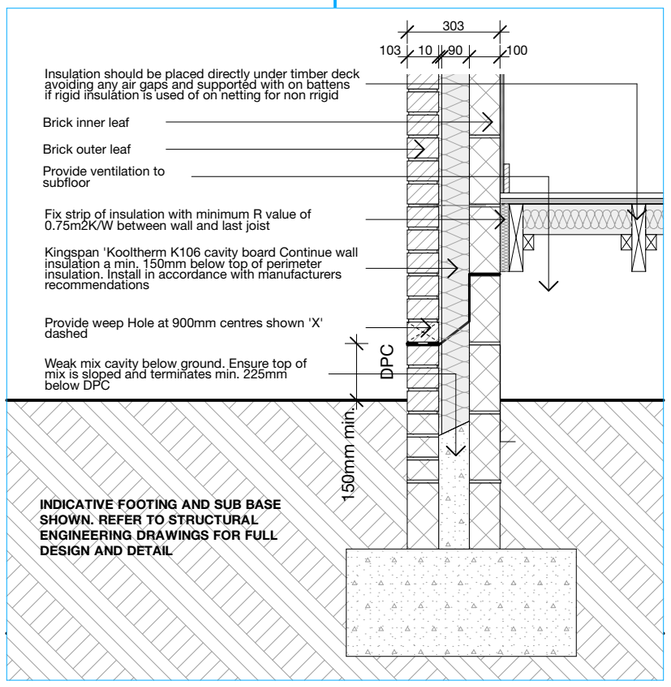
Nominal 50 x 25 mm under batten

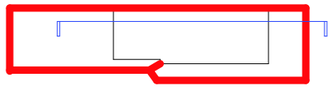
12mm Sheathing board

Breather membrane

Important Note

Detail indicates. Install slate cladding in accordance with manufacturers recommendations***





key plan
scale 1:500

Legend

ref.	Refrigerator	st	Store	R1	Roof Type 1
wo.	Wall oven	wir	Walk in wardrobe	DP	Downpipe
dw	Dishwasher	hc	Hosecock	OP	Overflow pop
shr.	Shower	W1	Wall type 1	HOP	Hopper
s	Sink	W2	Wall type 2	FG	Floor gully
t	Laundry tub	PS	plumbing stack	WIR	Walk in wardrobe
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Notes on setting out

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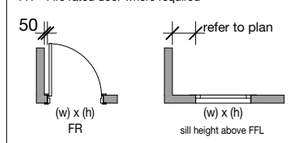

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Issue/ Rev	Description	Date
#	Initial Issue	30.06.20

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FOR PLANNING/ BUILDING CONTROL APPROVAL

Client
Porter Property Investments

Project Description
12 Seymour Road, Cheadle

Project Number **SEY012**

Drawing Title
Sections

Drawing Number **TP09**

Scale **1:100 @ A3**