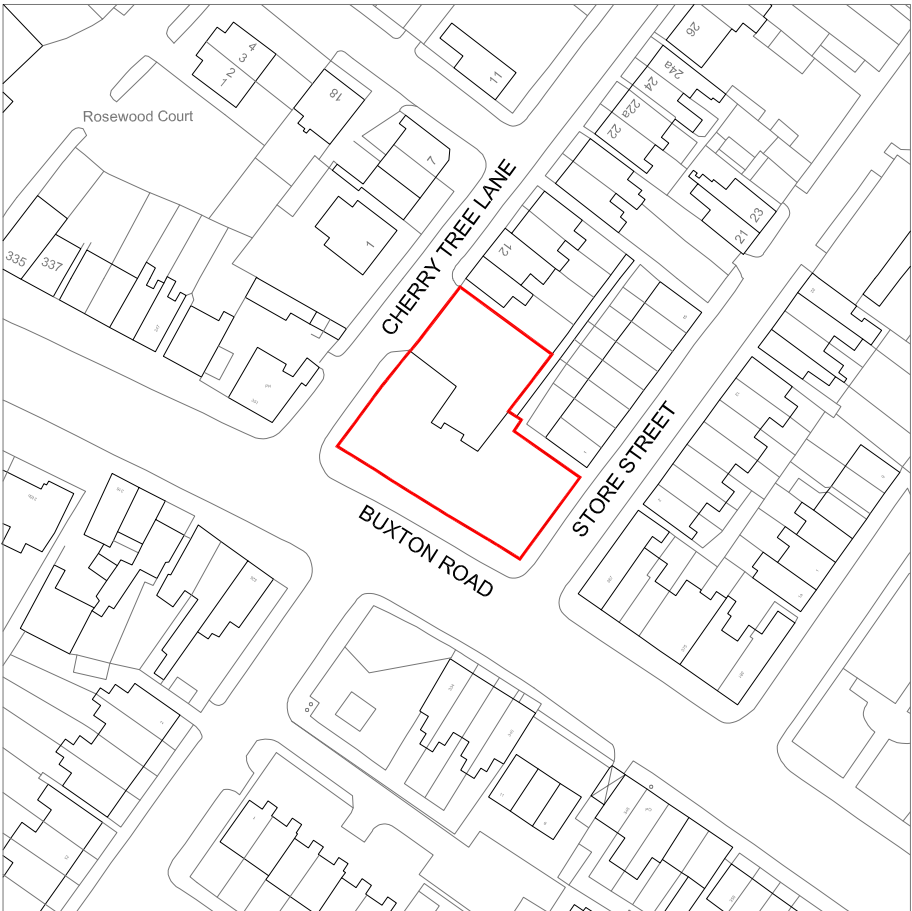


0 10 20 30 40 50m

Scale 1:1250



- NOTES
- AEWTP031C
- All dimensions and levels are to be checked on site.
  - Any discrepancies are to be reported to the architect before any work commences
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  - All works are to be undertaken in accordance with Building Regulations and the latest British Standards.
  - All proprietary materials and products are to be used strictly in accordance with the manufacturers recommendations.

CDM 2015

Client notified of duties: **TCG to be notified**  
Principal Designer: **TBC**

Unless noted below, all known hazards have been highlighted on the drawing:

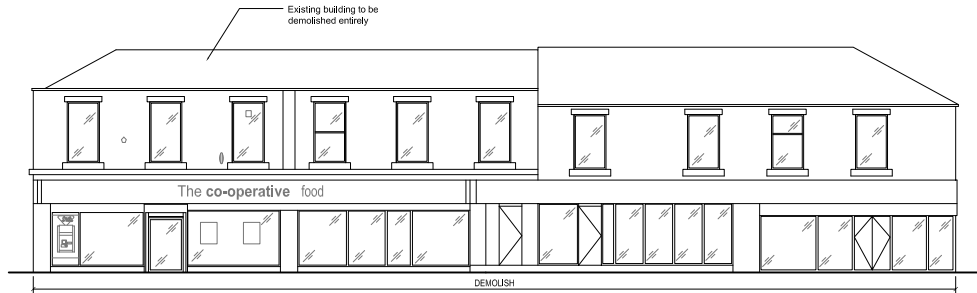
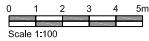
Application Boundary Indicated Thus: —

Schedule of Areas	m <sup>2</sup>
Site Area	903,7

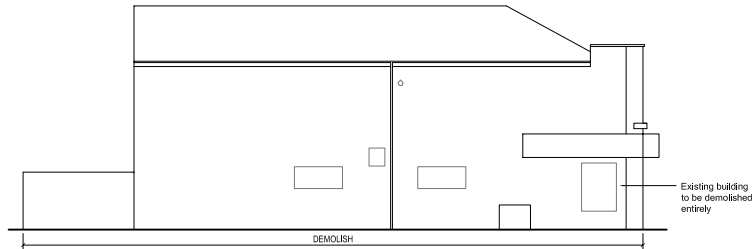
P02	19/12/2019	SS	JJS
Application boundary and site area figure revised			
P01	23/08/2019	TS	JJS
Initial Issue			
REV	Date	Drawn by: -	Checked by: -
Status	Purpose of Issue		
S2	For Approval		
drawing stage <b>PLANNING</b>			
client			
The Co-operative Group			
project			
353 Buxton Road, Great Moor, Stockport, SK2 7NL			
drawing title			
Location Plan			
date	23/08/19	drawn	TS
scale@A4	1:1250	checked	JJS

Location Plan

PLANNING



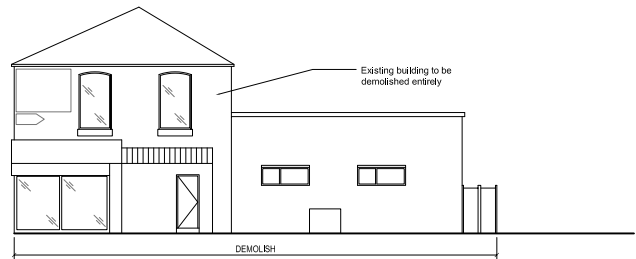
Existing Elevation A



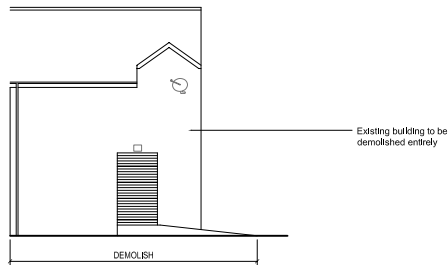
Existing Elevation B



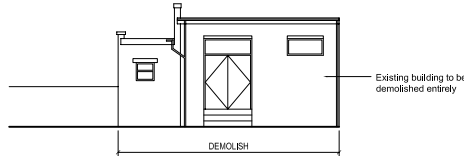
Existing Elevation C



Existing Elevation D

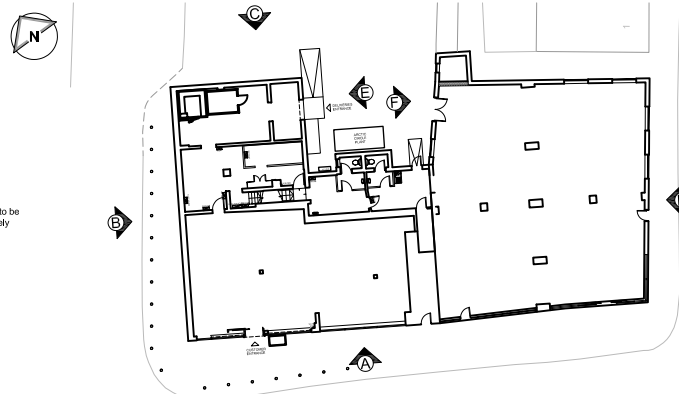


Existing Elevation E



Existing Elevation F

Existing Elevations



Key Plan  
NTS

NOTES AEWTP026C

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- Title overlay drawings and ownership boundaries are produced using all reasonable endeavours. AEW cannot be responsible for the accuracy or scale discrepancy of base plans supplied to them.
- All works are to be undertaken in accordance with Building Regulations and the latest British Standards.
- All proprietary materials and products are to be used strictly in accordance with the manufacturers recommendations.
- This drawing is based on Gilbert Elliot Rowe Ltd DWG drawing no. 16-02-19-Coop-Gr-Moor - model (received 06/02/2019).

CDM 2015

Client notified of duties: TCG to be notified

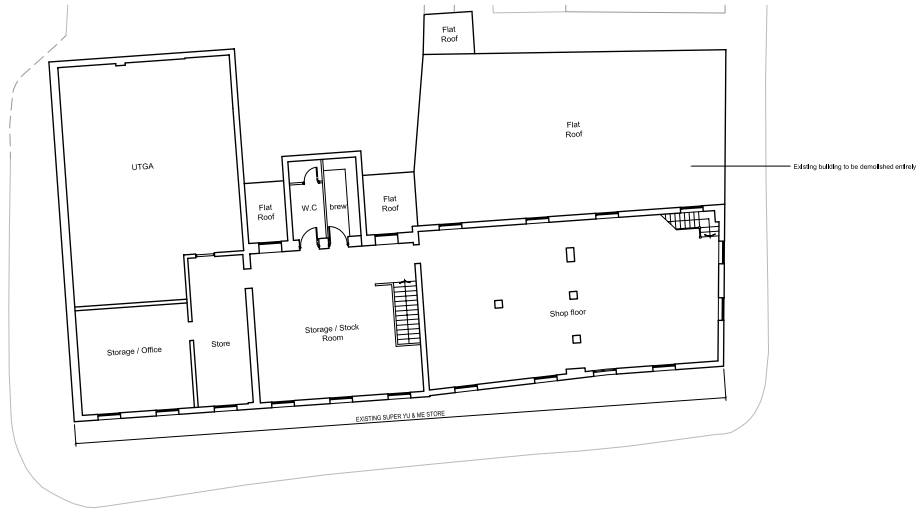
Principal Designer: TBC

Unless noted below, all known hazards have been highlighted on the drawing.

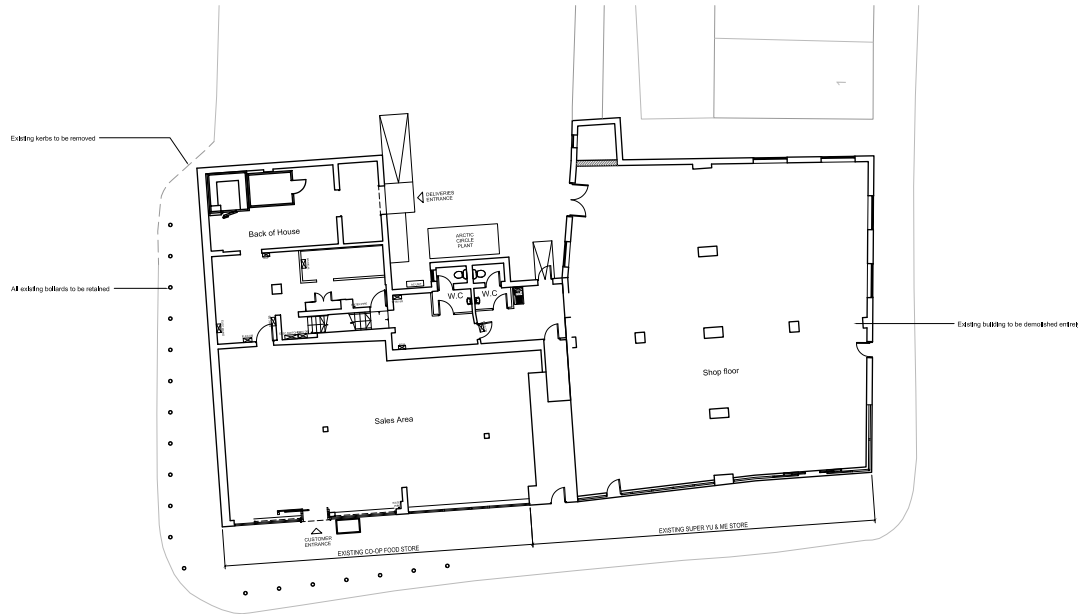
- Entire existing building including Coop food store and Super Yu & Linc store to be demolished to enable construction of new Coop food store. Method of demolition and sequencing / scheduling of work to be provided by demolition contractor and agreed prior to commencement of demolition works.

P01	23/08/19	TS	JJS
Initial Issue			
REV	Date	Drawn by -	Checked by -
S2			
Status	Purpose of Issue		
	For Approval		
drawing stage	PLANNING		
client			
	The Co-operative Group		
project			
	353 Buxton Road, Great Moor, Stockport, SK2 7NL		
drawing title			
	Existing Elevations		
date	23/08/19	drawn	TS
scale	1:100	checked	JJS

PLANNING



Existing First Floor Plan



Existing Ground Floor Plan

Existing GA Plan

NOTES

- All dimensions and levels are to be checked on site.
- Any discrepancies are to be reported to the architect before any work commences.
- This drawing shall not be used to construct any alterations, unless by written permission only.
- This drawing shall not be reproduced without express written permission from AEW.
- This drawing, including and associated documents are prepared solely for the use of the client and are not to be used for any other purpose without the written permission of AEW.
- All works are to be undertaken in accordance with the Building Regulations and the relevant Building Standards.
- All proprietary materials and products are to be used in accordance with the manufacturer's recommendations.
- This drawing is based on Client's information and is not to be used for any other purpose without the written permission of AEW.

CDM 2015

Client notified of risk: YES to be notified  
Pre-Construction Information: YES  
Unless stated below, all works have been completed on the drawing.

- On the existing building, the following works have been completed: the existing building has been demolished and the new building has been constructed. The existing building has been demolished and the new building has been constructed.

Schedule of Areas (m <sup>2</sup> )	
	Existing
Ground Floor GA	546.0
First Floor GA	384.0

PD 13020208 08 J20

Plan Room: 13020208 (See client's notes on requirements for the local authority planning department)

PD 13020208 15 J20

13020208

REV Date Drawn By Checked By

S2 For Approval

Project Name: PLANNING

Client: The Co-operative Group

Project: 353 Buxton Road, Great Moor, Stockport, SK2 7NL

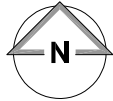
Project No: 13020208

Project Name: Existing GA Plan

Date: 23/08/19 Drawn: TS

Scale: 1:100 Checked: J20

PLANNING



0 5 10 15 20 25m  
Scale 1:500



Block Plan

NOTES AEWTP029C

- All dimensions and levels are to be checked on site.
- Any discrepancies are to be reported to the architect before any work commences.
- This drawing shall not be scaled to ascertain any dimensions. Work to fixed dimensions only.
- This drawing shall not be reproduced without express written permission from AEW.
- Title overlay drawings and ownership boundaries are produced using all reasonable endeavours. AEW cannot be responsible for the accuracy or scale discrepancy of base plans supplied to them.
- All works are to be undertaken in accordance with Building Regulations and the latest British Standards.
- All proprietary materials and products are to be used solely in accordance with the manufacturers recommendations.
- This drawing is based on Object 1111 Rows Ltd DWG drawing no. 18-02-115-Comp Site Moor -model (received 09/02/2019).

CDM 2015

Client notified of duties: TCG to be notified  
Principal Designer: AEW Architects  
Unless noted below, all known hazards have been highlighted on the drawing:

Application Boundary Indicated Thus: ———

Schedule of Areas	m <sup>2</sup>
Site Area	903.7

P06	14/05/2020	EMR	JJS
Site plan updated to suit LPA comments			
P05	16/04/2020	EMR	JJS
Site plan updated to suit LPA comments			
P04	19/12/2019	SS	JJS
Application boundary and site area figure revised			
P03	19/11/19	RAF	JJS
Scheme updated to line with approved Stage 1 plan F004_LF2 and asset plan P0311 IM0.			
P02	30/08/19	TS	JJS
Proposed scheme sign indicated on plan (subject to separate application)			
P01	23/08/19	TS/RAF	JJS
Initial Issue			

REV	Date	Drawn by:-	Checked by:-
S2		For Approval	
drawing stage: <b>PLANNING</b>			

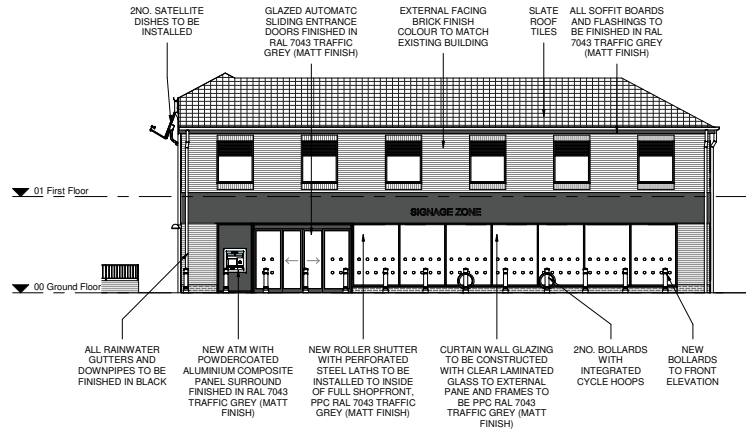
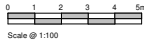
client: **The Co-operative Group**

project: **353 Buxton Road, Great Moor, Stockport, SK2 7NL**

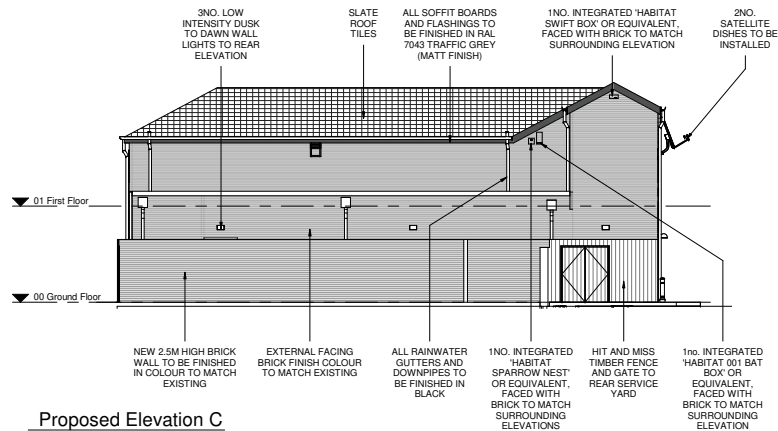
drawing title: **Block Plan**

date	23/08/19	drawn	TS/RAF
scale@A3	1:500	checked	JJS

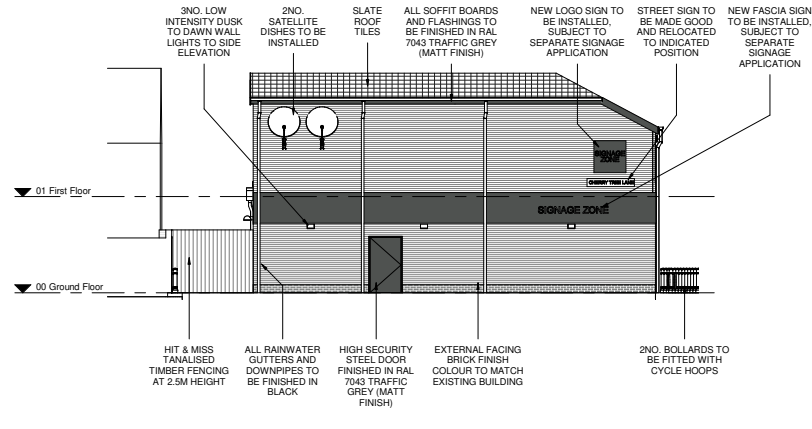
PLANNING



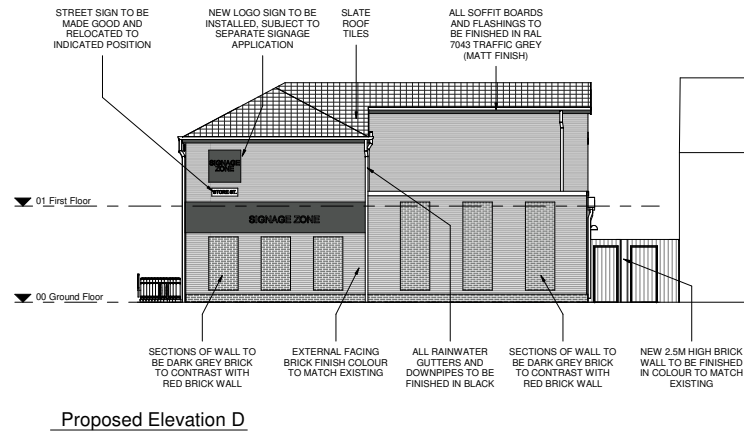
Proposed Elevation A  
Scale @ 1 : 100



Proposed Elevation C  
Scale @ 1 : 100



Proposed Elevation B  
Scale @ 1 : 100



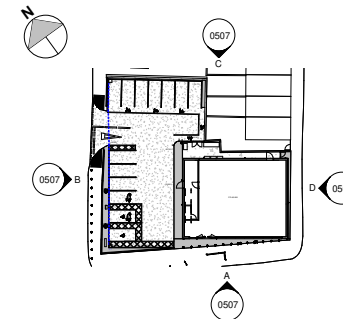
Proposed Elevation D  
Scale @ 1 : 100



VISUAL 01 - VIEW FROM CHERRY TREE LANE /  
BUXTON ROAD JUNCTION



VISUAL 02 - VIEW FROM STORE STREET /  
BUXTON ROAD JUNCTION



Key Reference Plan  
Scale @ 1 : 500

## NOTES

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  - All proprietary materials and products are to be used strictly in accordance with the manufacturers recommendations.
- This drawing contains the following model files:-  
11194-AEW-XX-XX-M3-A-0003\_Great Moor New Build [P6.1] [S1]

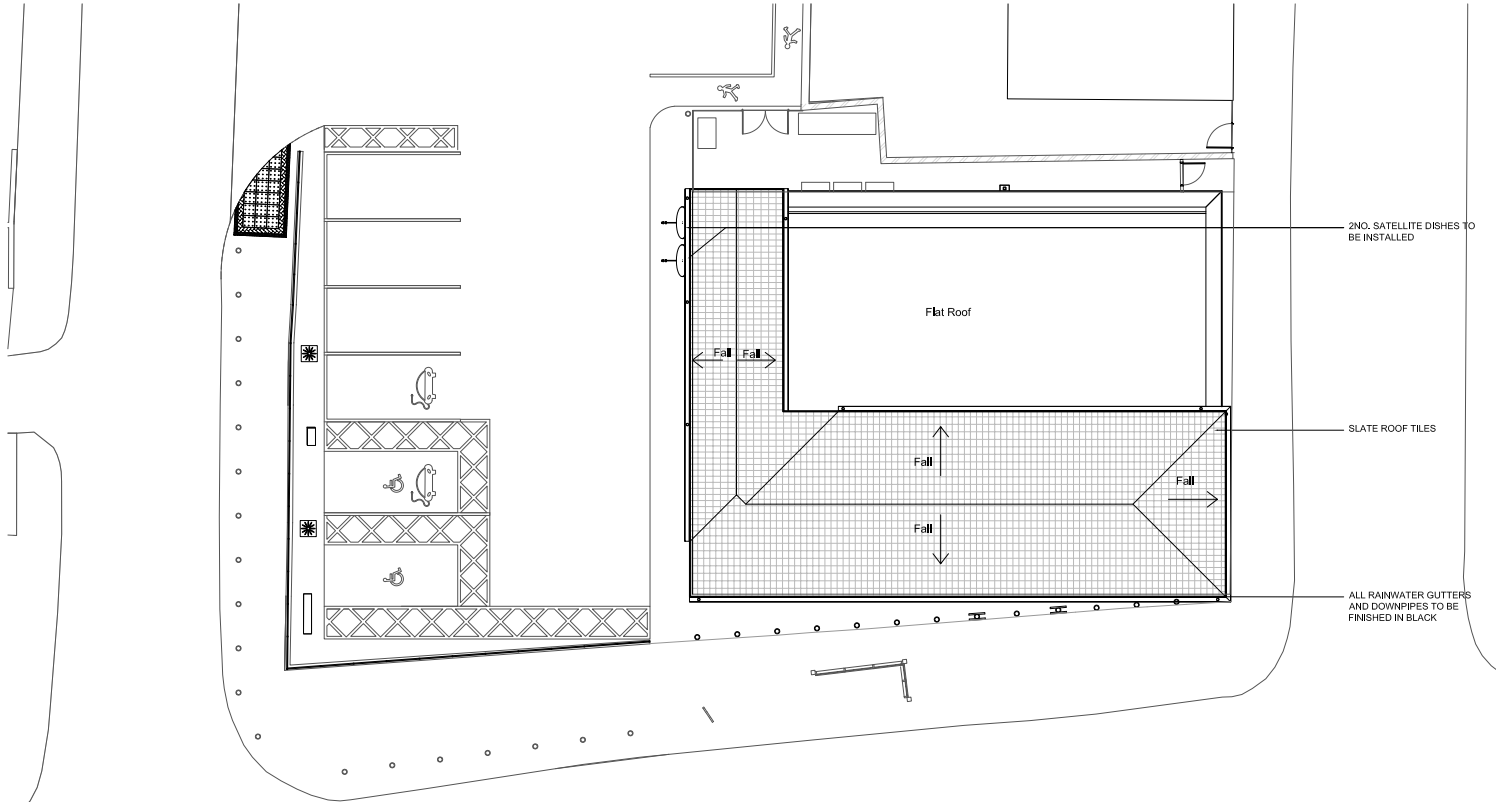
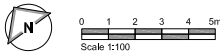
## CDM 2015

Client notified of duties: **TCG to be notified**  
Principal Designer: **AEW Architects**  
Unless noted below, all known hazards have been highlighted on the drawing:

P04	14/05/2020	BMF	JJS
Drawing updated to suit LPA comments			
P03	16/04/2020	BMF	JJS
Drawing updated to suit LPA comments			
P02	15/11/19	RAF	JJS
Scheme updated in line with approved Stage 1 plan P04_P02 and asset plan P01_P02			
P01	23/08/19	TS/RAF	JJS
Initial issue			
REV	Date	Drawn by:-	Checked by:-
S2			
Purpose of issue			
For Approval			
drawing stage			
Planning			
client			
The Co-operative Group			
project			
353 Buxton Road, Great Moor, Stockport, SK2 7NL			
drawing title			
Proposed Elevations			
date			
23/08/19			
drawn			
TS / RAF			
scale @ A1			
As indicated			
checked			
JJS			

PLANNING





NOTES

AEWTP026C

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- This drawing is based on Gilbert Ellis Rowe Ltd DWG drawing no. 16-02-19-Comp GR-Moor -model (received 06/02/2019).

CDM 2015

Client notified of duties: **TCG to be notified**  
Principal Designer: **AEW Architects**  
Unless noted below, all known hazards have been highlighted on the drawing.

P04	14/05/2020	BMR	JUS
Site layout updated to suit LPA comments			
P03	16/04/2020	BMR	JUS
Site layout updated to suit LPA comments			
P02	19/11/19	RAF	JUS
Scheme updated in line with approved Stage 1 plan F004_P02 and as per (see P03 P11MIL)			
P01	23/08/19	TS/RAP	JUS

Initial Issue

REV	Date	Drawn by -	Checked by -
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Status	Purpose of Issue
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S2	For Approval
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drawing stage	PLANNING
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client	
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The Co-operative Group

project

353 Buxton Road, Great Moor,  
Stockport, SK2 7NL

drawing title

Proposed Roof Plan

date	23/08/19	drawn	TS/RAP
scale	1:100	checked	JUS

Proposed Roof Plan

PLANNING

Rev  
P04

Job No  
11194-AEW-XX-RF-DR-A-0508

aew architects  
0161 275 2200  
www.aewarchitects.com





F.A.O. Helen Hodgett (Planning Officer – Development Manager)

Stockport Metropolitan Borough Council

Place Directorate, Stopford House

Piccadilly, Stockport, SK1 3XE

**Ref: DC/075639**

### **Preliminary Pre-Construction Information**

At the request of the Local Planning Authority, the following statement has been prepared by AEW Architects on behalf of the Co-op, in support of planning application REF: DC/075639.

At the time of writing, a Principal Contractor has not yet been appointed to the project. In the absence of Contractor input, this statement outlines in general terms, the key principles that will be implemented to ensure that the project is delivered safely. Consideration is placed on preserving the health and safety of members of the public, colleagues, operatives on site, neighbours, site visitors, and other persons affected by the undertakings. A fully detailed Construction Management Plan would be subject to formal approval / agreement by Stockport Council prior to commencement of any construction works.

The Co-op is committed to health and safety and believes the Principal Contractor and Principal Designer, in collaboration with the rest of the project team is key to achieving safety through design and safe systems of work to prevent ill health or injury during the construction phase and future use and maintenance of the building. The construction works must not put any person at risk of injury or ill health. Exemplary health and safety management is critical to the success of the Construction Programme. When appointing a Principal Contractor, the Co-op will take into account whether the Contractor is registered with the Considerate Constructors Scheme (CCS).

Once appointed, the Principal Contractor shall prepare and submit a comprehensive and detailed Construction Phase Plan, prior to any works commencing on site. This will be based on the principles set out below and must be updated and maintained by the Principal Contractor throughout the duration of the project. It is anticipated that submission of a detailed Construction Phase Plan will be required as part of any conditional planning approval, including restrictions on working hours.

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Sufficient management arrangements are to be put in place to safeguard site operatives and the public and a procedure for on-going assessment, review and subsequent updating of these arrangements is essential as the works progress on site. An on-going assessment of the risks identified will also be undertaken as the project develops.

The Principal Contractor operating the site shall;

- Comply with the Co-op Supplier Codes of Conduct.
- Implement controls and systems to safeguard the surrounding environment from noise, disruption, and dust.
- Ensure that all operatives work safely throughout the project.
- Report all health and safety incidents or near misses throughout the project.
- Not commence works which cannot be completed in such a way as to be left safe and secure at the end of each working day.
- Ensure a Construction Phase Plan is provided, updated, and maintained throughout the project as noted above.

### **Project Duration & Working Hours**

- It is anticipated that the duration of the construction works will be a 30-week programme, comprising an initial strip-out, demolition works, new construction and internal fit-out
- The majority of works are expected to be completed Monday – Friday during daytime hours. Some work activities may require to be completed outside of these times.

The duration and sequencing of construction works, and details of proposed working hours are subject to confirmation of the Principal Contractor's programme and Construction Phase Plan.

### **Planning for and Managing Construction Work**

- It will be the appointed Principal Contractors responsibility to produce a Construction Management Plan, Construction Phase Plan and Health and Safety Plan for the project.
- The Principal Contractor shall also prepare written hazard and risk assessments for all work activities.
- The Principal Contractor at the start of the project shall implement the construction phase health and safety plan and develop it as necessary throughout the project.
- The Co-op will adhere to the Party Wall etc Act 1996, given the nature of the demolition / construction works proposed on the site boundary to 1 Store Street. The Party Wall etc Act 1996 provides a framework for preventing and resolving disputes in relation to party walls, boundary walls and excavations near neighbouring buildings.

### **Communication**

- It is anticipated that communication on site will be via daily briefings and weekly progress meetings.
- The daily briefings may outline current / upcoming site activity while weekly meetings will be organised, chaired and minutes recorded by the Project Managers or other members of the project team.
- The Principal Contractor shall provide contact details for the appointed site manager to be made available to nearby residents.

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- The Principal Contractor is encouraged to liaise proactively with nearby residents at appropriate intervals, to outline details of current / upcoming activities and to minimise the impact on amenity of surrounding properties.
- The Principal Contractor shall liaise with the Principal Designer throughout the design process and will be required to inform the Principal Designer of all design changes, notifying them of any health and safety issues throughout the construction period.

### **Contractor's Site Plan**

The Principal Contractor is to prepare a plan detailing the proposed locations of the following items, prior to commencement of works on site:

- Line of site hoardings
- Site access and egress points
- Site welfare facilities
- Location and type of temporary site accommodation/site office
- Parking locations / delivery locations
- Skip locations
- Storage locations

Subject to a detailed Construction Phase Plan, it is anticipated that the Principal Contractor will use the existing surface car park within the demise to locate site offices / cabins, welfare facilities, material storage compounds and skips as required. Operations are to be restricted to within the boundary of the site. Access to carry out any works outside the boundary of the site, i.e. the access road, adjacent site areas or the highway, shall be by prior arrangement with the owners. The Principal Contractor shall liaise with the necessary Utilities Departments prior to switching off or cutting any services that will have an impact on the running of the store building or surrounding properties.

### **Contractors Hoarding**

- The site shall be fully hoarded off to form a physical barrier between the construction working area and public areas, to prevent unauthorised access / trespass / theft for the entire duration of the works.
- The hoardings must be of a height, specification and finish appropriate to the environment and should be of robust construction to ensure the security of the site.
- Appropriate warnings and other signage shall be clearly displayed as required.
- Necessary vision splays and traffic calming measures may be implemented as required.
- Caution must be taken when securing the site near the adjacent residential properties so as not to cause disruption or damage.
- Hoarding between the site on 1 Store Street shall be erected immediately following the demolition of the boundary wall to ensure that a continuous line of segregation and security is maintained throughout all phases of the works. It is expected that the hoarding on this line will be of a suitable type to minimise noise/disturbance and protect the neighbour's privacy.
- All excavations should be securely segregated to minimise unauthorised access and ensure they are protected when left unattended.

Full details, specification and setting out of the site hoarding requirements will be determined by the Principal Contractor, to take due regard of the site location including use and location of surrounding properties (specifically no.1 Store Street), existing highway, car park and access roads.

### **Security**

- Security of the construction site and the existing building will be the responsibility of the Principal Contractor.

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- The security arrangements implemented by the Principal Contractor are to take into consideration the site location, proximity of other adjacent sites and public users.
- All site access and egress points shall be clearly marked with appropriate signage and secured via suitable locking mechanisms (e.g. heavy-duty padlock, combination Digi-lock etc).

The Principal Contractor shall ensure that only authorised persons are permitted within the site works area and will implement a proper authorisation procedure and controls. The contractor is responsible for ensuring all sub-contractors employed on the works must comply with the security procedures. It is recommended that the full names of all contractor and sub-contractor tradesmen engaged on the works are to be submitted to the Principal Contractors' site office in advance of their arrival.

### **Welfare Provision**

- Welfare facilities will be provided in accordance with Schedule 2 of the Construction (Design and Management) Regulations 2015; and shall be commensurate with the total workers engaged on the project.
- These facilities are to be maintained in a safe and clean condition throughout the duration of the project and be located within the designated site compound area.
- Rooms containing sanitary conveniences will be adequately lit and ventilated and kept in a clean and orderly condition.
- Separate facilities to be provided for men and women, with flushing toilets and running water in each, all connected to mains water and drainage systems.
- Chemical portable toilets are only acceptable if it is not reasonably practicable to make other adequate provisions.

### **Fire Precautions and Means of Escape**

- The Principal Contractor is to develop their own fire plan and strategy in accordance with the joint code of practice on the protection from fire of construction sites and buildings undergoing renovation 'Fire Prevention on Construction Sites' (9th Edition), as published by Construction Industry Publications Ltd (CIP) and the Fire Protection Association (FPA).
- The fire plan and strategy must take due regard of the work being carried out and presence and proximity of the adjacent properties and existing structures.
- The contractor will be required to provide suitable and sufficient fire extinguishers commensurate with the risk of fire associated with the work to be undertaken.
- The Site Fire Safety Plan and Security Plan must be submitted with the Construction Phase Plan prior to commencement on site, and updated as the construction phase progresses to reflect any changes in conditions, management changes etc.
- Should the existing escape routes be compromised as a result of undertaking these works, it is the responsibility of the Principal Contractor to ensure that the necessary fire risk assessments are undertaken to ensure that the existing fire routes are either maintained or managed or suitable alternatives provided.

### **Emergency Procedures and Means of Escape**

- The Principal Contractor shall develop their own emergency procedures and identify means of escape, security measures, collection areas etc. for their site.
- These procedures should be submitted within the Construction Phase Plan and reviewed and updated throughout the project as required.
- The Principal Contractor must provide a comprehensive list of contact details for site agents and Contract Managers including the provision of a 24-hour contact number for use at any time and more specifically in the event of an emergency.
- Emergency incidents must be escalated to the Project Manager as soon as reasonably practicable.
- The Principal Contractor must ensure there is a qualified first aider available on all site at all times, and that suitable first aider provisions are readily available.

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### **Parking Arrangements and Restrictions**

- The Principal Contractor will make their own parking arrangements.
- Operatives will not be permitted to park in the existing highway and must not obstruct the highway or footpaths.
- All traffic regulations and restrictions on the adjacent public highways are to be observed.

### **Site Transport Arrangements or Vehicle Movement Restrictions**

- A transport plan and strategy which shall take into account the proximity of residential properties, roads and bus routes and within the site as a whole will be provided by the Principal Contractor.
- Types of vehicle and movements should be carefully considered appropriate to the site requirements, constraints, and conditions.
- A management strategy is required to ensure all vehicles moving around site is done so with an appropriate banksman to safeguard the site, operatives, and the public.

The contractor is to take due account of the size of vehicles which can safely access and manoeuvre around the site especially in relation to maintaining access for car park users at all times, and large deliveries and any restrictions on deliveries or waste collection or storage.

Kind regards

Jonathan Sheridan  
**AEW Architects**

Date: 22.05.2020

Registered Office: Co-operative Group Limited,  
1 Angel Square, Manchester, M60 0AG. Reg No 525R