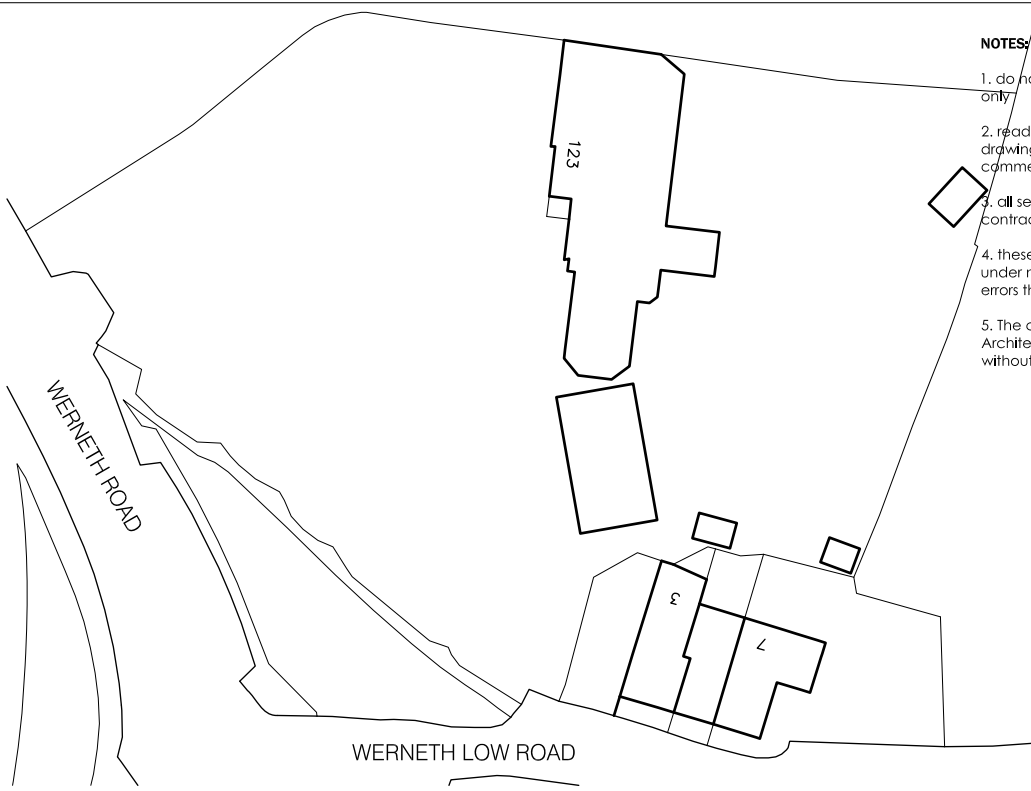
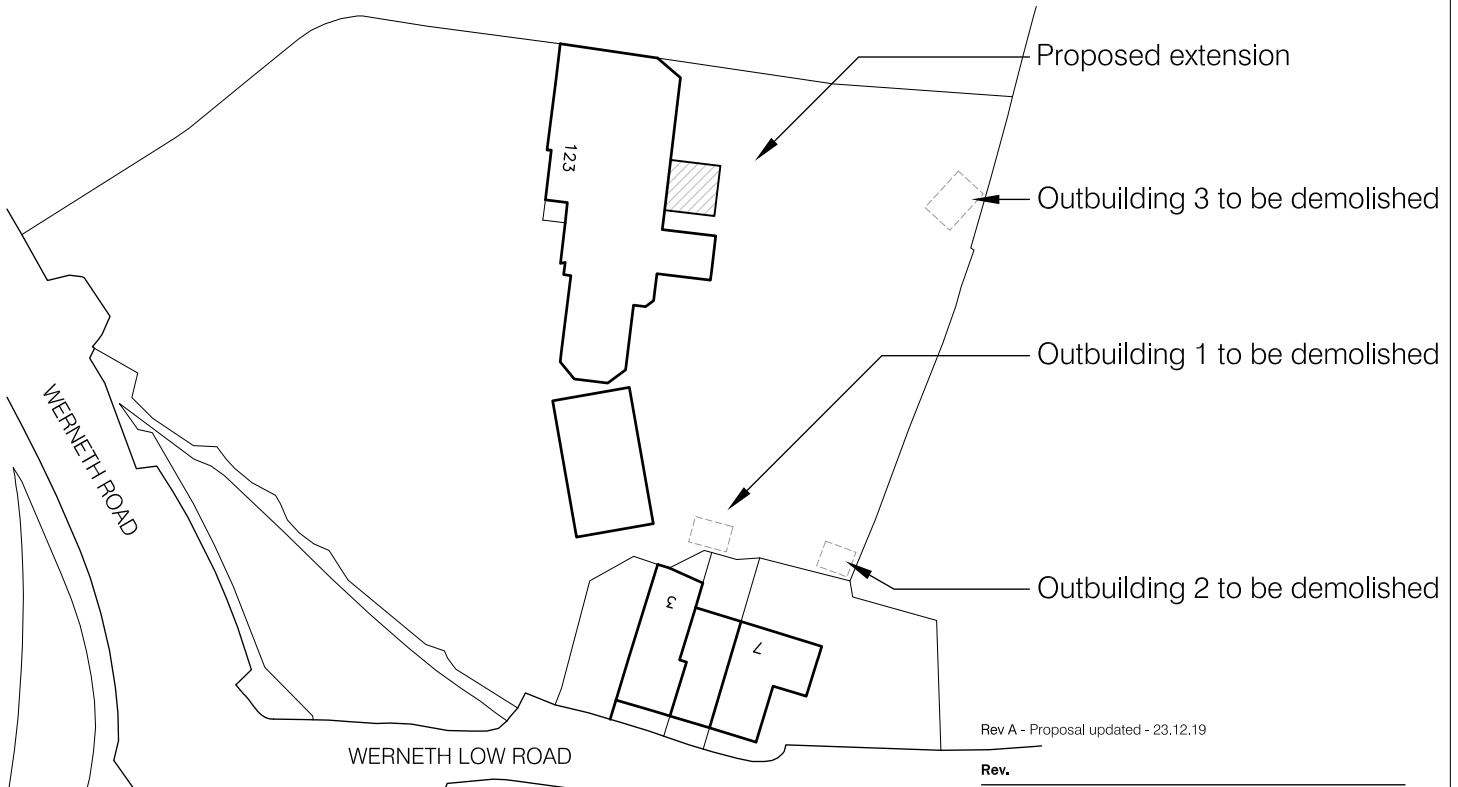


NOTES:

1. do not scale from this drawing - use figured dimensions only
2. read in conjunction with all other consultants/specialists drawings and report any discrepancies before work commences
3. all setting out dimensions to be checked on site by contractor before work commences
4. these drawings are for General Arrangement only, and under no circumstances will the draughtsman be liable for errors that may occur during and after construction.
5. The copyright of this drawing is vested in Candid Architecture Ltd and must not be copied or reproduced without the consent of the company.



EXISTING SITE PLAN - 1:500



PROPOSED SITE PLAN - 1:500



LOCATION PLAN - 1:1250



Rev A - Proposal updated - 23.12.19

Rev.



a: 44 Napier Road,
Heaton Moor, Stockport,
Manchester, SK4 4HG
t: 07966 295 223
e: ric_jowe@outlook.com

client
Dr Ahmed

project
123 Werneth Road, Woodley,
Stockport, SK6 1HR

drawing
Existing and Proposed Site Plans

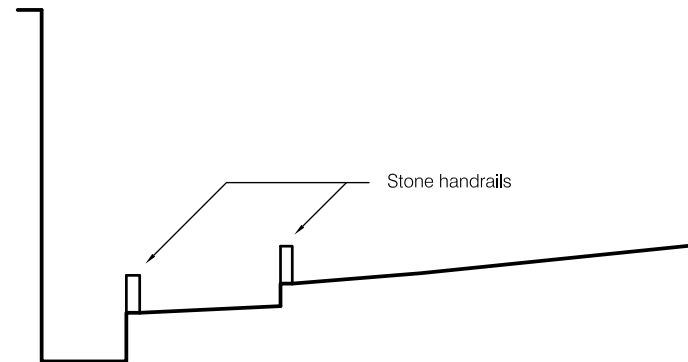
scale SHOWN@A3	date 20.12.19	drawn RL
drawing no. RG241 / PL10	revision A	

do not scale from this drawing

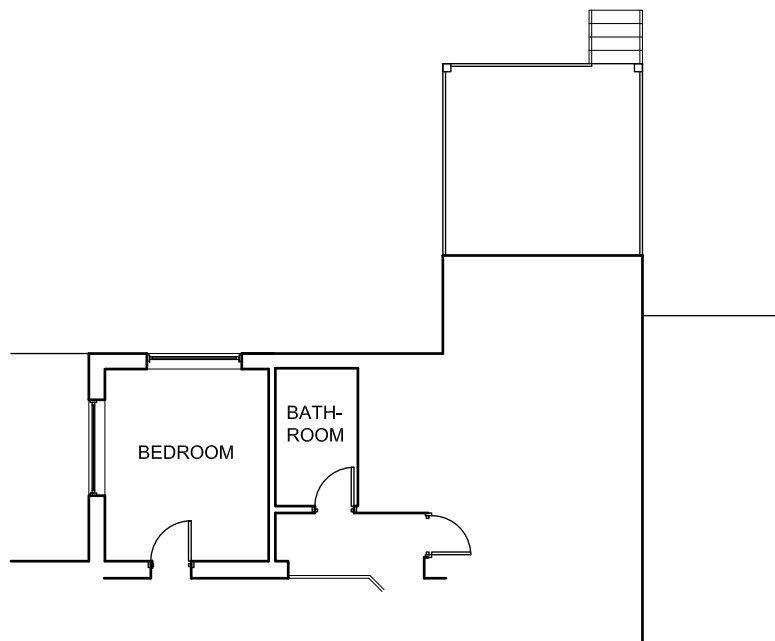
©

NOTES:

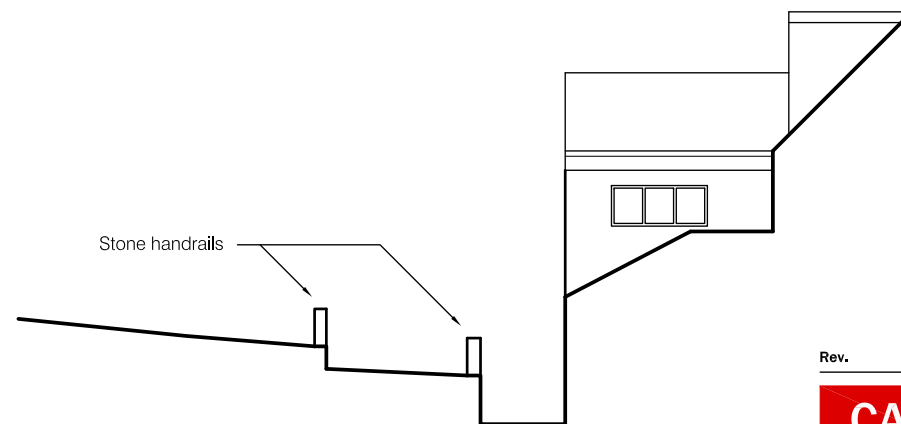
1. do not scale from this drawing - use figured dimensions only
2. read in conjunction with all other consultants/specialists drawings and report any discrepancies before work commences
3. all setting out dimensions to be checked on site by contractor before work commences
4. these drawings are for General Arrangement only, and under no circumstances will the draughtsman be liable for errors that may occur during and after construction.
5. The copyright of this drawing is vested in Candid Architecture Ltd and must not be copied or reproduced without the consent of the company.



EXISTING SIDE ELEVATION - 1:100



EXISTING PART FIRST FLOOR PLAN - 1:100



EXISTING SIDE ELEVATION - 1:100



EXISTING REAR ELEVATION - 1:100

Rev.

CANDID
Architecture

a: 44 Napier Road,
Heaton Moor, Stockport,
Manchester, SK4 4HG
t: 07966 295 223
e: ric_lowe@outlook.com

client

Dr Ahmed

project

123 Werneth Road, Woodley,
Stockport, SK6 1HR

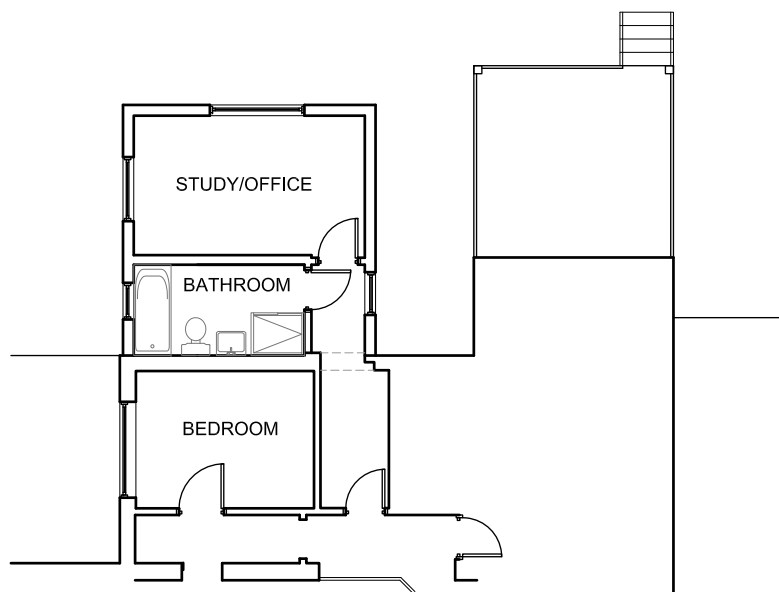
drawing

Existing Plans and Elevations

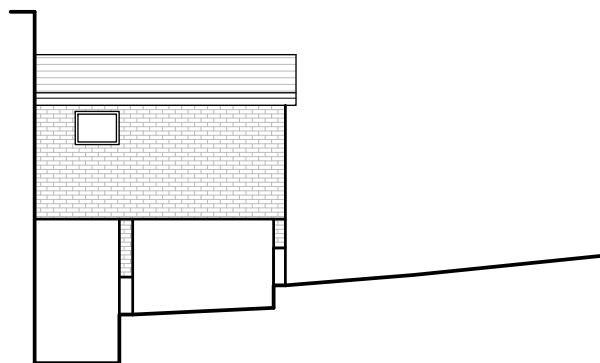
scale	date	drawn	RL
SHOWN@A3	20.12.19		
drawing no.	RG241 / PL11		revision
			-

do not scale from this drawing

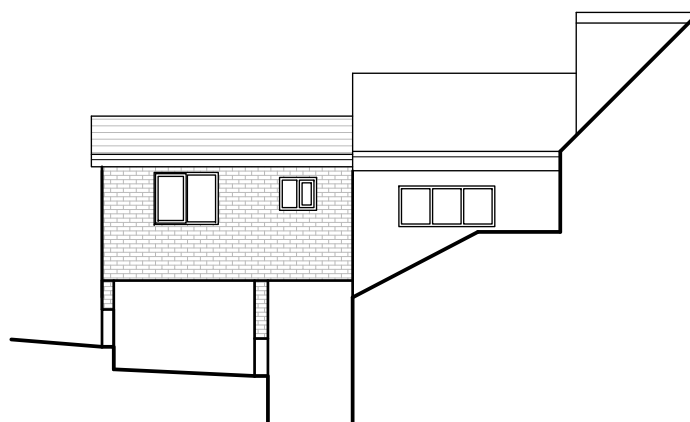
©



PROPOSED PART FIRST FLOOR PLAN - 1:100



PROPOSED SIDE ELEVATION - 1:100



PROPOSED SIDE ELEVATION - 1:100



PROPOSED REAR ELEVATION - 1:100

NOTES:

1. do not scale from this drawing - use figured dimensions only
2. read in conjunction with all other consultants/specialists drawings and report any discrepancies before work commences
3. all setting out dimensions to be checked on site by contractor before work commences
4. these drawings are for General Arrangement only, and under no circumstances will the draughtsman be liable for errors that may occur during and after construction.
5. The copyright of this drawing is vested in Candid Architecture Ltd and must not be copied or reproduced without the consent of the company.

MATERIALS

Walls - Brick slips to match existing dwelling

Roof - Tiles to match existing roof

Windows - Brown PVC to match existing dwelling

Rev A - Proposal updated - 23.12.19

Rev.

CANDID
Architecture

a: 44 Napier Road,
Heaton Moor, Stockport,
Manchester, SK4 4HG
t: 07966 295 223
e: ric_lowe@outlook.com

client

Dr Ahmed

project

123 Werneth Road, Woodley,
Stockport, SK6 1HR

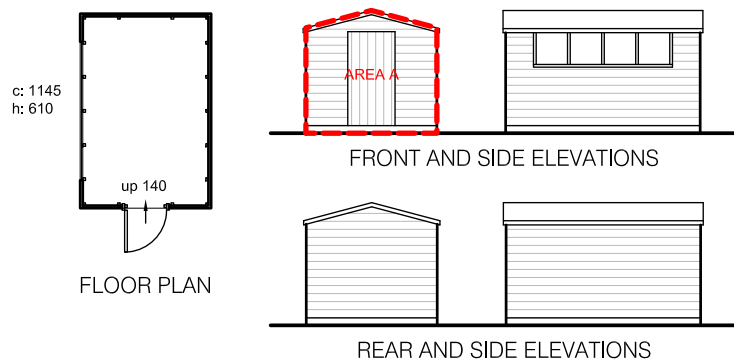
drawing

Proposed Plans and Elevations

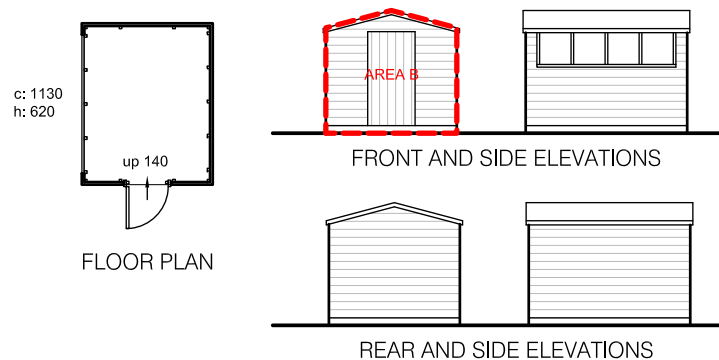
scale SHOWN@A3	date 20.12.19	drawn RL
drawing no. RG241 / PL12	revision A	

do not scale from this drawing

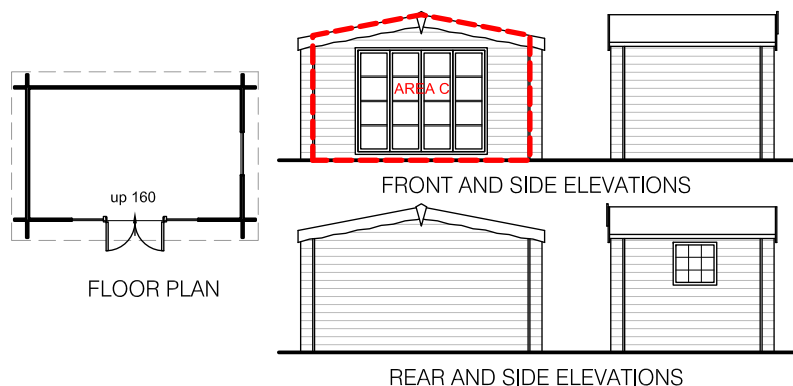
©



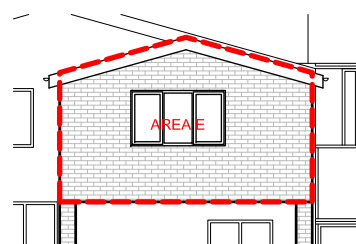
OUTBUILDING 1 - 1:100



OUTBUILDING 2 - 1:100



OUTBUILDING 3 - 1:100



PROPOSED EXTENSION FRONT
ELEVATION - 1:100

VOLUME CALCULATIONS:

Outbuilding 1 = Area A x Depth
 $5.2 \times 3.6 = 18.7\text{m}^3$

Outbuilding 2 = Area B x Depth
 $5.2 \times 3 = 15.6\text{m}^3$

Outbuilding 3 = Area C x Depth
 $10.3 \times 2.5 = 25.8\text{m}^3$

TOTAL EXISTING VOLUME = 60.1m^3

Proposed Extension = Area E x Depth
 $13.0 \times 4.7 = 61.1\text{m}^3$

TOTAL PROPOSED VOLUME = 61.1m^3

The volume of the proposed development is similar to that of the existing buildings that are to be demolished. Therefore the removal of the existing outbuildings mitigates the impact of the proposal on the green belt. Also the positioning of the proposed building volume being attached to the existing dwelling and next to an existing extension is less invasive on the green belt than the current positioning of all of the outbuildings.

NOTES:

1. do not scale from this drawing - use figured dimensions only
2. read in conjunction with all other consultants/specialists drawings and report any discrepancies before work commences
3. all setting out dimensions to be checked on site by contractor before work commences
4. these drawings are for General Arrangement only, and under no circumstances will the draughtsman be liable for errors that may occur during and after construction.
5. The copyright of this drawing is vested in Candid Architecture Ltd and must not be copied or reproduced without the consent of the company.

Rev A - Proposal updated - 23.12.19

Rev.



a: 44 Napier Road,
Heaton Moor, Stockport,
Manchester, SK4 4HG
t: 07966 295 223
e: ric_lowe@outlook.com

client

Dr Ahmed

project

123 Werneth Road, Woodley,
Stockport, SK6 1HR

drawing

Existing Outbuildings and Volume
Calculations

scale SHOWN@A3	date 20.12.19	drawn RL
drawing no. RG241 / PL13	revision A	

do not scale from this drawing

©